



City of Mount Dora
Planning and Development
510 N. Baker St.
Mount Dora, FL 32757
352-735-7112
Planning@mountdora.gov

HISTORIC PRESERVATION BOARD

City Hall – 1st Floor Board Room, 510 N. Baker Street, Mount Dora, FL

June 24, 2026 at 3:00 PM

AGENDA

- I. Call to Order
- II. Roll Call with Determination of Quorum
- III. Approval of Minutes from May 27, 2026
- IV. Public Participation/hearing of non-agenda items
- V. Certificate of Appropriateness
 - a. 410 N Tremain Steet – Detached Shed
 - i Ex Parte Communication
 - ii Swearing in Staff/Applicants
 - iii Staff Presentation
 - iv Applicant Presentation
 - v Public Comment
 - vi Board Discussion
 - b. 822 Alexander Street – Re-Roof
 - i Ex Parte Communication
 - ii Swearing in Staff/Applicants
 - iii Staff Presentation
 - iv Applicant Presentation
 - v Public Comment
 - vi Board Discussion
- VI. Discussion on Historic Ordinance
- VII. Board Updates
- VIII. Announcement of next scheduled meeting date: July 29, 2026 @ 3:00 p.m.
- IX. Adjournment

NOTICE: Please note that, for purposes of Section 286.011, Florida Statutes, two or more members of the City Council may be present at this meeting, and this meeting may be considered a City Council meeting.

NOTICE: If any person decides to appeal any decisions at this meeting with respect to any matter considered, such person may need a record of these proceedings. For such purpose, a person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

NOTICE: In accordance with the Americans with Disabilities Act (“ADA”) and Florida Statutes, Section 286.26, persons with disabilities needing a reasonable accommodation to participate in a public hearing or meeting should contact the City of Mount Dora’s ADA Coordinator at least 48 hours prior to the proceeding. The ADA Coordinator may be contacted by phone at 352735-7126, ext. 1111, or by email at clerk@cityofmountdora.com.

If hearing impaired, telephone the Florida Relay Service numbers (800) 955-8771 (TDD) or (800) 955- 8770 (Voice) for assistance.



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HISTORIC PRESERVATION BOARD MEETING
City Hall Conference Room, 510 N. Baker Street, Mount Dora, FL
Wednesday, May 27, 2026 – 3:00 PM

MINUTES

I. CALL TO ORDER

Having been duly noticed as required by law, the May 27, 2026, meeting of the Mount Dora Historic Preservation Board was called to order at 3:00 p.m. by Det Joks. Chairman.

II. ROLL CALL WITH DETERMINATION OF QUORUM, SWEARING IN AND EX PARTE COMMUNICATION DISCLOSURE

Present: Daniel Wick, Det Joks, Joseph Newton, Jay Smith

Absent: Robert Gordon, Suzanne Gibson, Juan Diaz

City Staff: Adam Sumner, Deputy Planning Director; Ryan Winkler, Senior Planner; Theresa Willis, Administrative Coordinator; Andrew Hand, Esquire, City Attorney.

III. APPROVAL OF MINUTES

On a motion by Det Joks, seconded by Jay Smith, the board voted to table the meeting minutes dated April 29, 2026, until the June 24th, 2026 meeting, to allow time to make corrections. Unanimously by a 4-0 vote

IV. PUBLIC PARTICIPATION/HEARING FOR NON-AGENDA ITEMS

None

V. CERTIFICATE OF APPROPRIATENESS

A. 751 E Fifth Avenue – Exterior Improvements

- i. Ex Parte Communication Disclosure
- ii. Swearing in of staff/applicants
- iii. Staff presentation
- iv. Applicant Presentation
- v. Public Comment
- vi. Board Discussion

Mr. Winkler provided a brief summary of the proposed application and stated that the staff recommends approval of the application as presented.



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Ms. Merry Hadden, Owner – Present
Austin Guenther, G3 Development – Present

Ms. Merry Hadden and Austin Guenther provided additional discussion on the project.
Discussion on pergola to be free standing.
Discussion on location of sidewalk(s).

Motion by Jay Smith, seconded by Joseph Newton; the board voted to approve the application as presented unanimously with a 4-0 vote.

B. 822 Alexander Street – Re-roof

- i. Ex Parte Communication Disclosure
- ii. Swearing in of staff/applicants
- iii. Staff presentation
- iv. Applicant Presentation
- v. Public Comment
- vi. Board Discussion

Mr. Winkler provided a brief summary of the proposed application and stated that the staff recommends disapproving the application as presented.

Randy Canzater, Superb Restoration – Present
Craig Mello, Owner – Present

Mr. Canzater provided discussion on existing roofing materials.
Discussion on slate versus metal.
Mr. Canzater presented samples of the slate material.
Mr. Mellow presented photo(s) with samples of the slate roofing.
Mr. Mellow expressed that the slate material could save him repair costs in the future versus using metal roofing.
Discussion on how the slate material is superior and more energy efficient than metal roofing.
Mr. Mellow advised that the slate has a 50-year warranty.
Mr. Mellow stated the existing metal roof is the third "lifetime" roof he has put on due to tornados.
Discussion on the difficulty of finding metal roofs.
Discussion on Historic Regulations requires replacing "like" with "like."
Discussion on cost difference between tin shingles and slate.
Discussion on slate roofs in the area.



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Mr. Canzater advised existing roof is not a standing seam roof.
Discussion on a standing seam roof would be a downgrade from what the property owner chose. The slate is approximately 30 percent upgrade.
Mr. Canzater confirmed the product is a synthetic "plastic."
Discussion on synthetic products being recyclable.
Mr. Canzater provided additional samples of metal roofing in various shapes.
Mr. Canzater advised the insurance company requiring the roof to be replaced in order to be covered.
Mr. Canzater and Mr. Marlow convened to discuss options.
Re-convened — Mr. Marlow advised he needs more time to research metal roofing.
Mr. Marlow requesting a continuance to the June 24, 2026, meeting.

Motion by Daniel Wick, seconded by Joseph Newton; the board voted to TABLE the application until the June 24, 2026, meeting, unanimously with a 4-0 vote.

VI. STAFF / BOARD UPDATES

Reminder the review of the Historic Ordinances and Demolition by Neglect was tabled to the June 24, 2026, meeting.

VII. ANNOUNCEMENT OF NEXT SCHEDULED MEETING DATE:

June 24, 2026 @ 3:00pm

VIII. ADJOURNMENT

On a motion by Joseph Newton, seconded by Daniel Wick; the board voted to adjourn the meeting at 4:07 p.m.

*Det Joks, Chairman
Historic Preservation Board*

*Theresa Willis
Administrative Coordinator*



Planning and Development
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352-735-7113
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DATE: June 24, 2026

TO: Historic Preservation Board

FROM: Michele Janiszewski, AICP, Senior Planner

RE: **Tab 1 - Certificate of Appropriateness; 410 N Tremain Street (Location); Demolish Existing Shed and Construct a New Shed (Proposed Work); Sara T. Rhodes Life State (Owner); Robert Rhodes, Eco Construction Group, LLC (Applicant).**

Property Information:

Address:	410 N Tremain Street	Current Use:	Residential
Zoning District:	R-2	Land Use:	Medium Density

Structure Information:

Date of Construction:	1949	Style:	Masonry Vernacular
Siding:	Stucco	Stories:	One
Roof Type:	Hip	Chimneys:	One
Roof Material:	Metal	Porch:	One, Open

Background on Architectural Style:

Masonry Vernacular buildings tend to be simple, largely unornamented, and constructed out of readily available materials. This style's guiding principle is the long tradition of simple masonry construction techniques used in Western architecture. Windows and doors are symmetrically spaced on a façade to form a regular rhythm of solids and voids called "bays." Where there is more than one floor, openings are aligned from floor to floor for structural purposes. Decoration is simple and limited usually to string courses, window and door lintels, and cornices. Vernacular buildings were widely constructed in Mount Dora from the 1880s through the 1930s.

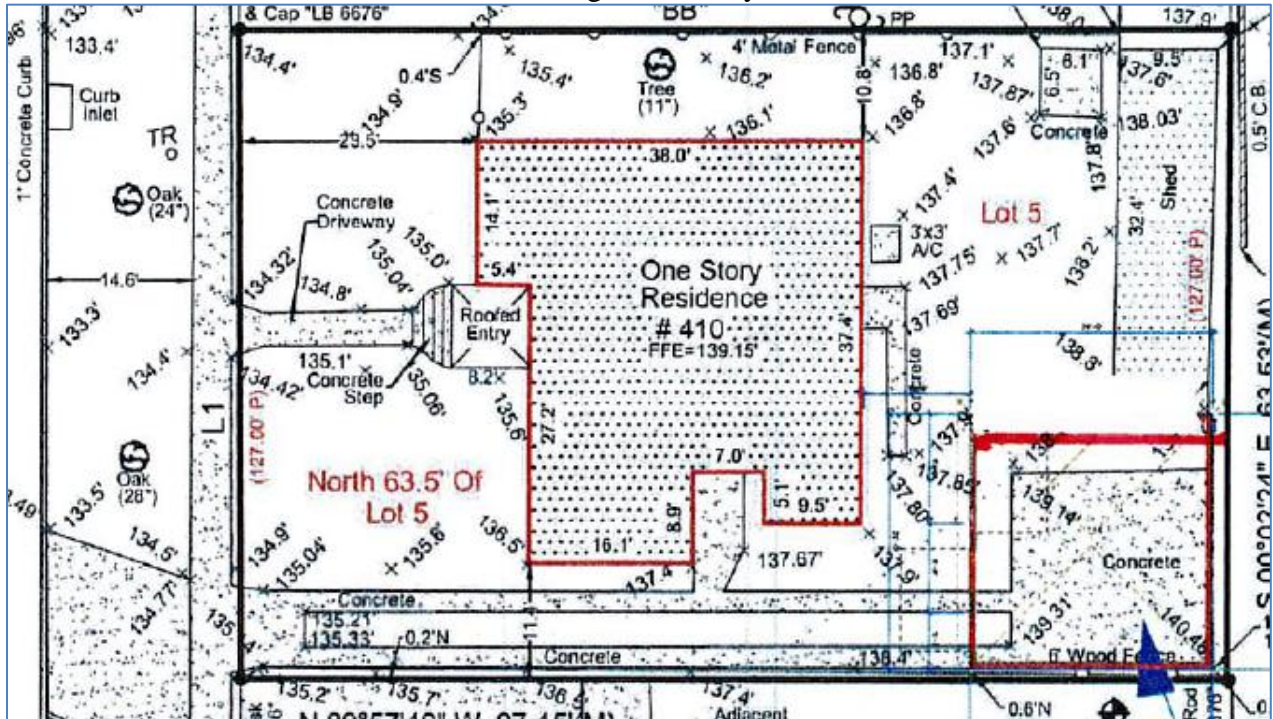
This style of houses' primary exterior material is typically concrete block, stucco, and brick. Roof surfaces were typically wood shingles during the 19th century; metal during the last 19th century; and composition and asbestos shingles beginning in the 1920s.

Requested Action:

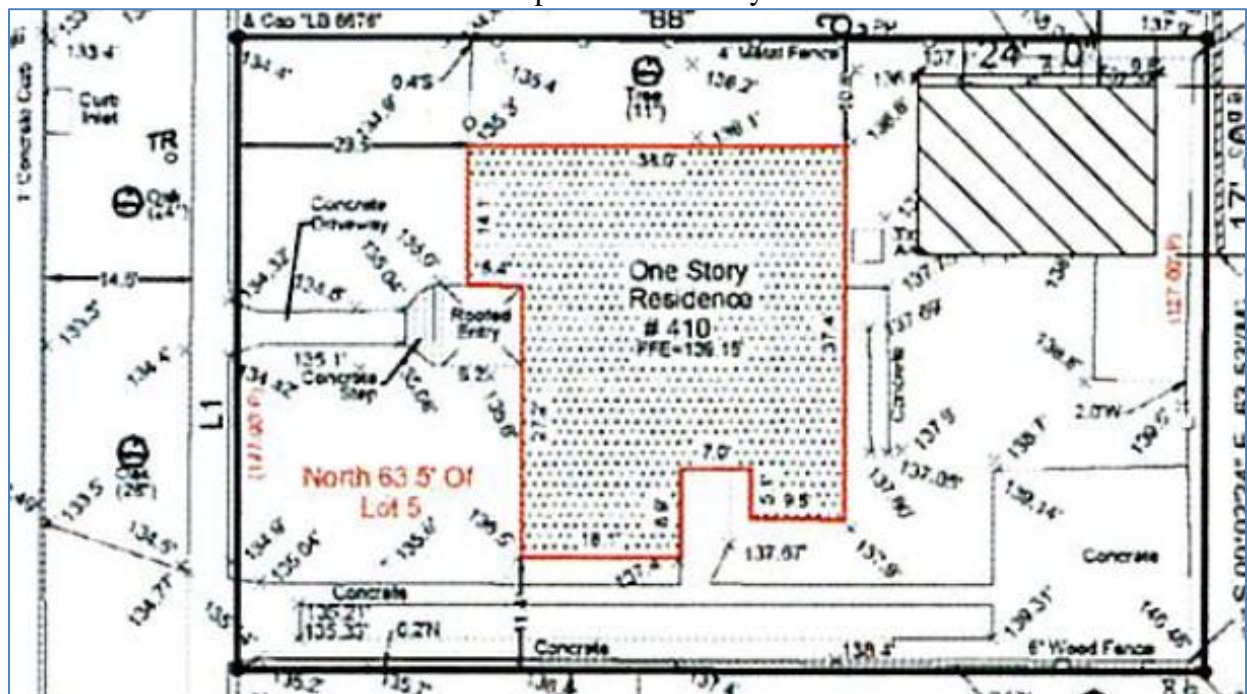
The Applicant is seeking to demolish the existing 288 SF shed and construct a new 411 SF shed. The property record card describes the shed as a detached garage and shows that the structure was constructed in 1948.

The Applicant stated that the need for the modification is because “the old non-conforming shed is in disrepair and needs to be demolished. We are proposing to replace the shed within the required setback requirements.”

Existing Site Survey



Proposed Site Survey

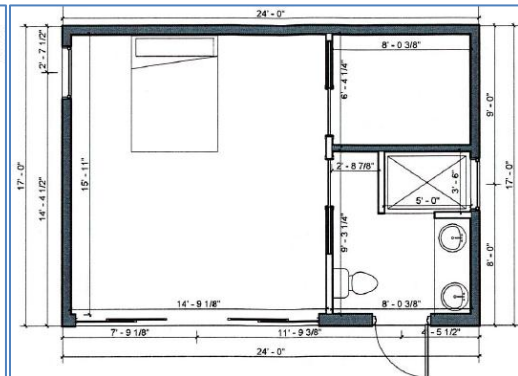


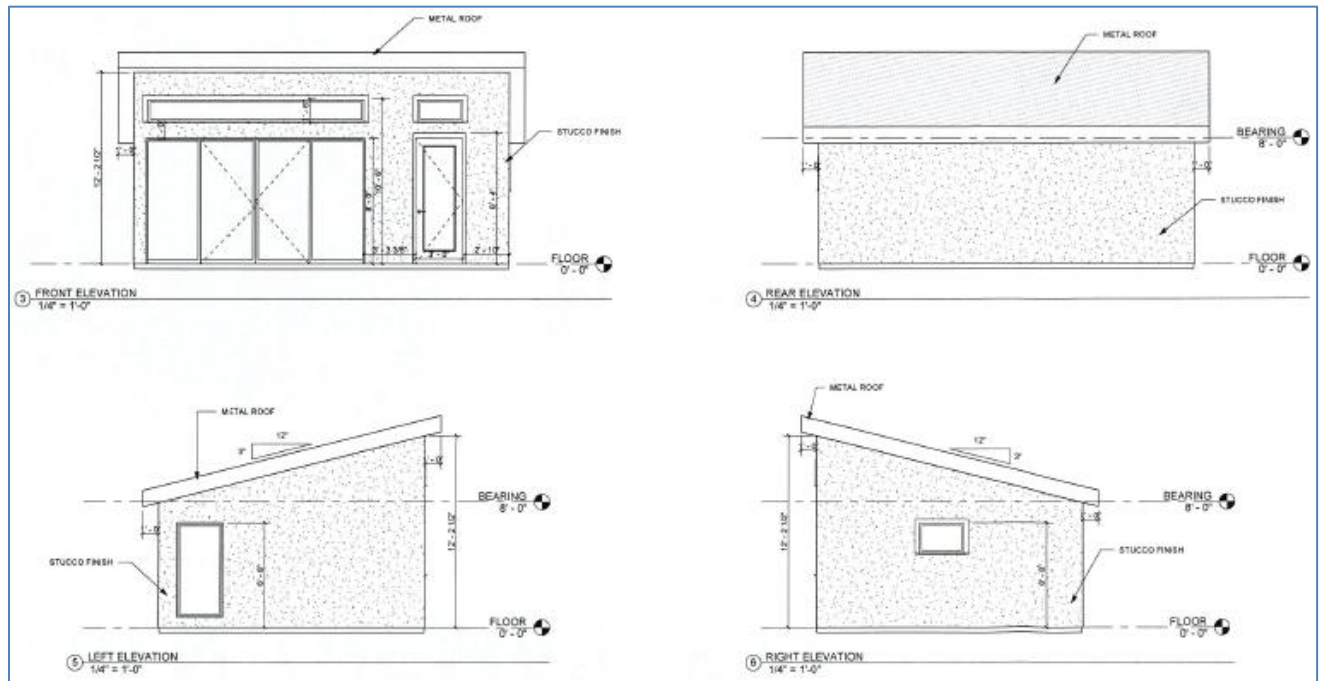
Existing Shed



The existing shed has a door and three (3) small windows on its western façade and no windows nor openings on the other façades. The shed features a hip roof which matches the residence.

Proposed Shed





The shed is proposed to have stucco siding and shed roof with metal. The western façade will have a door and four (4) panel sliding glass door. The northern and southern facades each feature a window.

Guidance from Land Development Code (LDC)

LDC Section 3.4.6 (2)(b), states that it is also the intent to promote visually compatible, contemporary designs that are harmonious with the exterior architectural and landscape features of adjacent, neighboring or visually related buildings, structures, sites and streetscapes. Visual compatibility will be defined in terms of the following criteria:

1. *Height.* The height of proposed buildings or modifications will be visually compatible in comparison or relation to the height of existing structures and buildings.
2. *Front facade proportion.* The front facade of each building or structure will be visually compatible with and in direct relationship to the width of the building and to the height of the front elevation of other adjacent or adjoining buildings within a historic preservation review area.
3. *Proportion of openings (windows and doors).* The openings of any building within a historic preservation review area will be visually compatible with the openings exemplified by the prevailing historic architectural styles within the historic preservation review area. The relationship of the width of windows and doors to the height of windows and doors among buildings within the historic preservation review area will be visually compatible.

4. *Rhythm of solids to voids—Front facades.* The relationship of solids to voids in the front facade of a building or structure will be visually compatible with the front facades of historic buildings or structures within the historic preservation review area.
5. *Rhythm of buildings on streets.* The relationship of building(s) to open space between it or them and adjoining building(s) will be visually compatible with the relationship between historic sites, buildings, structures within a historic preservation review area.
6. *Rhythm of entrance and/or porch projections.* The relationship of entrances and porch projections to the sidewalks of a building will be visually compatible with the prevalent architectural styles of entrances and porch projections on historic sites, buildings and structures within a historic preservation review area.
7. *Relationship to materials and texture.* The relationship of materials and texture of the facade of a building will be visually compatible with the predominant materials used in the historic sites, buildings and structures within a historic preservation review area.
8. *Roof shapes.* The roof shape of a building or structure will be visually compatible with the roof shape(s) of a historic site, building or structure within a historic preservation review area.
9. *Walls of continuity.* Appearances of a building or structure such as walls, wrought-iron fences, evergreen landscape masses, or building facades, will form cohesive walls of enclosure along a street to insure visual compatibility of the building to historic buildings, structures or sites to which it is visually related.
10. *Scale of building.* The size of a building, the building mass in relation to open spaces, windows, door openings, balconies and porches will be visually compatible with the building size and building mass of historic sites, buildings and structures within a historic preservation review area.
11. *Directional expression of front elevation.* A building will be visually compatible with the buildings, structures and sites in its directional character: vertical, horizontal or nondirectional.

Guidance from the Historic Design Guidelines:

Additions to existing historic buildings and new construction in the district can contribute in interesting and meaningful ways by adding creative visual elements that respond to and reinforce established patterns and context. Historic neighborhoods do not have to “be frozen in time” or “preserved in amber,” as many people would assume.

Context and Compatibility

Additions and new construction should be designed in a manner that is compatible and sympathetic to the character of the buildings and neighborhood, especially those that are immediately adjacent, ensuring that the character and integrity of surrounding historic resources are preserved. New

buildings should be consistent with the site layout, orientation, scale, form, materials, features, and details already established by the surrounding historic resources.

Individuality Encouraged

While a historic district conveys a certain sense of time and place associated with its history, it also remains dynamic, with alterations, additions, and new construction occurring over time. It is desirable to be able to perceive the evolution of the street and neighborhood, discerning the apparent age of each building by its architectural expression and method of construction. Placing a building's architectural style in relative chronological order helps interpret the development of the neighborhood. New buildings should not seek to replicate historic buildings but can reference historic styles in their design. Additions and new buildings should fit in and contribute positively to the overall character of the neighborhood.

Site Layout and Orientation

- a. **General Layout:** Retain historic property line patterns, street relationships, setbacks, building orientation, established circulation patterns, and landscape elements.
- b. **Size Location of Additions:** Additions should be located on the side or rear elevation as opposed to the primary facade. The size and scale of additions should be proportionate to the historic building and clearly subordinate to it.
- c. **Setbacks:** Where there are established and consistent setbacks, setbacks of new construction should match that of neighboring properties. New construction on corner lots should continue the existing setbacks along both street frontages.
- d. **Spacing Between Buildings:** The spaces between buildings help define the spatial character of the historic district. New construction should follow the existing patterns of building widths and spaces between buildings.
- e. **Building Orientation:** New construction should have a similar orientation and relationship to the street as existing buildings in the vicinity.
- f. **Entrance Orientation:** Primary entrances of new buildings should be on the primary façade, face the street, and be consistent with the pattern of entrances within the vicinity.
- g. **Circulation Patterns:** Pedestrian and vehicular circulation patterns should reflect the patterns along the streetscape and within the vicinity. For example, primary entrances generally connect directly to the street. Driveways are adjacent to buildings. Circular driveways are not appropriate if not an existing established neighborhood feature.
- h. **Secondary Structures:** Secondary structures such as garages and sheds should be located in a manner consistent with existing secondary structures in the district, generally to the rear and side of the primary building.

Architectural Expression

- a. **Complementary Expression:** New construction should take inspiration from and be complementary to the existing architectural vocabulary of historic buildings within the vicinity.
- b. **Compatible New Design:** New construction and additions can utilize modern technologies and building systems while still respecting the character of the historic district. New construction should be differentiated from the old, which can be accomplished through

subtle changes in details, materials, proportions or presentation. A building can reflect current design trends but still honor historic building traditions.

- c. **Architectural Detailing:** New designs should incorporate architectural detailing visually similar to those found in the district. Architectural detailing that is more ornate or elaborate than that found in the district is not appropriate.
- d. **Dramatic Contrast:** While new buildings should clearly be distinguished from historic buildings, radically contrasting designs for additions or new construction are not appropriate.

Materials

- a. **Compatibility:** Materials should be of a complementary type, size, texture, color and level of craftsmanship to promote continuity within the historic district.
- b. **Traditional Materials:** The continued use of traditional materials such as wood, stone, brick, or block is preferred. Materials need not be exactly the same as those of adjacent historic buildings but should at a minimum be visually complementary.
- c. **Roof Materials:** Select roof materials that are similar in type, pattern, form, texture, and color to those traditionally used within the district.
- d. **Metal Roofs:** New metal roofing is acceptable provided that the new metal roof is metal shingle or standing seam with concealed fastener. New standing seam roofs in earthy or muted colors that are compatible with roof colors found in the district are preferred over galvalume which is very reflective and draws the eye.
- e. **Inappropriate Materials:** The use of vinyl and aluminum siding, unpainted wood, exterior plywood systems, and glass block are incompatible with the visual character of the historic district.
- f. **Permitted Synthetic Materials:** As discussed under the topic of Synthetic Replacement Materials (p. 98), quality synthetic materials such as cement board that visually replicate the appearance of wood may be permitted in new construction. Such materials must have a traditional flat painted finish. The fake grain/simulated wood textures are not appropriate.

Garages and Outbuildings

- a. **Secondary Structures:** New secondary structures such as detached residential units, garages, pool houses and other outbuildings should complement the layout, scale, form, and roof type of the primary building.
- b. **Character:** Relate new garages and outbuildings to the period of construction of the principal building through the use of complementary materials and simplified architectural details.

Findings of Fact:

LDC Section 3.6.4 (2) (a), states that the Historic Preservation Board shall utilize the most recent U.S. Secretary of Interior's Standards for Historic Rehabilitation and Guidelines for Rehabilitation and the Mount Dora Historic Preservation Design Guidelines as the standards by which applications for certificate of appropriateness are to be evaluated. The Mount Dora Historic Design Guidelines are based on the U.S. Secretary of Interior's Standards for Historic Rehabilitation and Guidelines for Rehabilitation.

LDC Section 3.6.4 (2)(b), states it is also the intent to promote visually compatible, contemporary designs that are harmonious with the exterior architectural and landscape features of adjacent, neighboring or visually related buildings, structures, sites and streetscapes.

Staff has reviewed the application for consistency with the U.S. Secretary of Interior's Standards for Historic Rehabilitation, Mount Dora Historic Preservation Design Guidelines, and the standards for visual compatibility established in LDC Section 3.6.4 (2)(b) (hereto referred to the 'Standards of Review'), and found:

1. The request is consistent with the Mount Dora Historic Design Standards which state "Secondary structures such as garages and sheds should be located in a manner consistent with existing secondary structures in the district, generally to the rear and side of the primary building" and the proposed shed is located in the rear yard; its entrance is oriented in the same manner as the residence; it will not adversely impact the street relationship; and it is smaller than the residence so it does not adversely impact the scale; and
2. The request is consistent with the Mount Dora Historic Design Standards which state "Materials should be of a complementary type, size, texture, color and level of craftsmanship to promote continuity within the historic district" and the proposed shed will be constructed of the same material as the residence; and will be a complementary size and level of craftsmanship; and
3. The Mount Dora Historic Design standards state "New metal roofing is acceptable provided that the new metal roof is metal shingle or standing seam with concealed fastener. New standing seam roofs in earthy or muted colors that are compatible with roof colors found in the district are preferred over galvalume which is very reflective and draws the eye; and
4. The proposed shed will have a shed style roof which could compliment the primary residence which has a hip roof; and
5. The request is promotes visual compatibility with the exterior architectural of adjacent, neighboring or visually related buildings, structures, sites and streetscapes as required by LDC Section 3.6.4 (2)(b).

Therefore, based on these Findings of Fact, staff recommends **Approval** of the application, with the conditions that:

1. The metal roof be in an earthy or muted color; and
2. Grids are provided on the northern and southern windows, and incorporated into windows on the western façade, to compliment the grid pattern on the primary residence.

Board Action:

The Historic Preservation Board may:

1. Accept Staff's Findings of Fact and Approve the application, as presented;

2. Partially reject Staff’s Findings of Fact and Approve the application with conditions to ensure the application is consistent with the Standards of Review. Note: The motion should clearly state the Standards of Review the proposed conditions will address.
3. Reject Staff’s Findings of Fact and Deny the application based on inconsistencies between the application and the Standards of Review. Note: The motion will need to include reasoning as to why the application is inconsistent with the Standards of Review.

Attachments:

Photos

Application

2008 Site Form



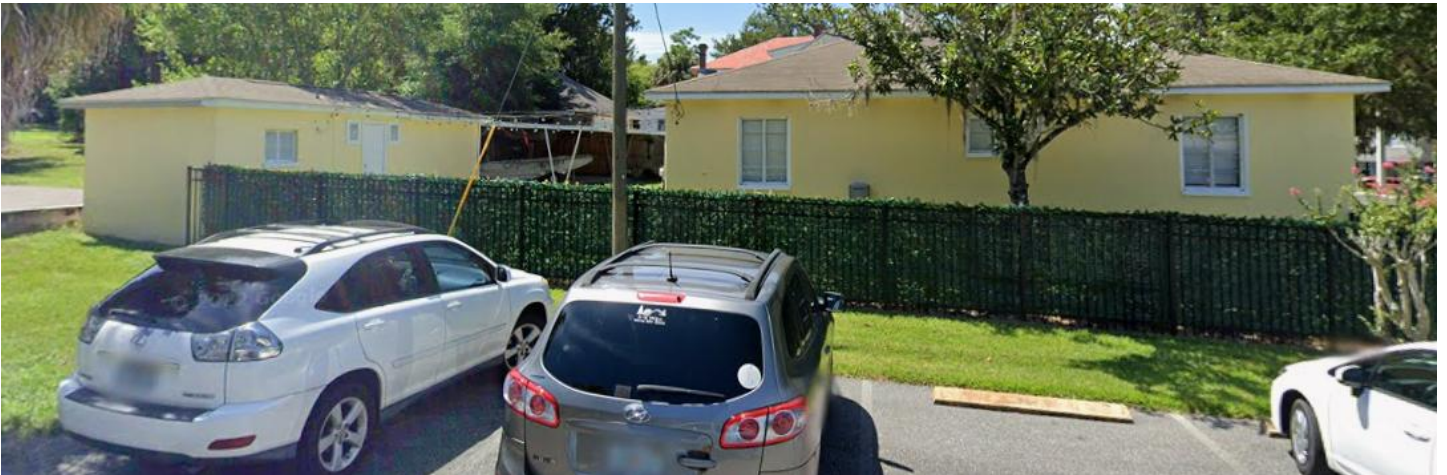
Primary Structure



Birds Eye View of Subject Property



Structure Proposed for Demolition





CITY OF MOUNT DORA

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APPLICATION FOR CERTIFICATE OF APPROPRIATENESS Renovations, Additions and New Construction

PAP26-0015

Property Address: 410 N Tremain Street, Mt Dora Alternate Key No.: 1476089

Property Owner: Sara T. Rhodes Life Estate

Applicant: ECO CONSTRUCTION GROUP LLC - ROBERT RHODES

Applicant's Mailing Address: 1224 North Donnelly Street, Mt. Dora, FL 32757

Applicant's Phone Number: 352-504-0346

Applicant's Email Address: [REDACTED]

Current Building Use (e.g. residential or commercial): Residential

Application Type:

New Construction

Addition

Renovation

Check any structural systems or elements which will be affected by this project:

Steps or Stairways

Foundation

Siding/Stucco/Façade Work

Windows

Porches or Porte Cochere

Walls/Structural

Doors

Chimney

Roof

Walls or Fences

Exterior Lighting

Landscape Features

Existing Materials: Wood

Proposed Materials: Stucco

Is there a chimney on the building and will it be affected? NO Full Description of

Proposed Alteration(s) or Construction including materials; please attach additional documentation if needed: Demo existing shed and install a new shed 411 sq ft

Reason for Addition / Modification: Old non-conforming shed is in disrepair and needs to be demolished. We are proposing to replace the shed within the required setback requirements

Note: This application is for a Certificate of Appropriateness from the Historic Preservation Board only. The proposed work must also meet Zoning and Building Code Requirements; additional permits may be required.

Submission of the application implies permission is granted to the City of Mount Dora to inspect and document any necessary information needed to process this request.

PROPERTY RECORD CARD

General Information

Name:	RHODES SARA T LIFE ESTATE	Alternate Key:	1476089
Mailing Address:	410 N TREMAIN ST MOUNT DORA, FL 32757 Update Mailing Address	Parcel Number: ⓘ	32-19-27-2400- 000-00500
		Millage Group and City:	OMD1 Mount Dora
		2025 Total Certified Millage Rate:	18.7725
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	410 N TREMAIN ST MOUNT DORA FL, 32757	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	MOUNT DORA, TREMAIN'S PLAT N 63.5 FT OF LOT 5 PB 2 PG 17 ORB 5343 PG 345 ORB 6372 PG 216		
<p>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</p>			

Land Data

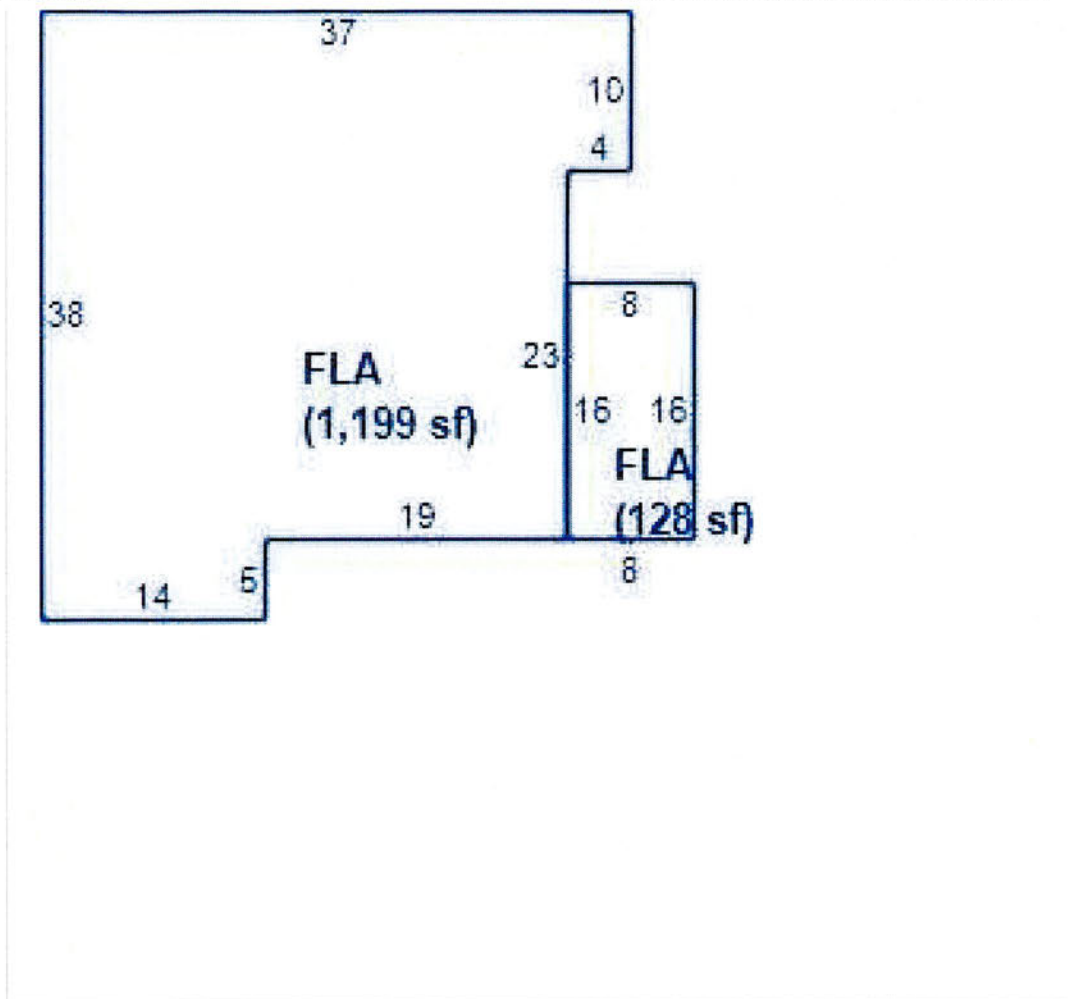
Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	SINGLE FAMILY (0100)	64	98		6272.000	FD		\$71,552.00	\$71,552.00

[Click here for Zoning Info](#) ⓘ [FEMA Flood Map](#)

Residential Building(s)

Building 1

Residential	Building Value: \$167,624.00		
Summary			
Year Built: 1949	Total Living Area: 1327 ⓘ	Central A/C: Yes	Fireplaces: 1
Bedrooms: 3	Full Bathrooms: 1	Half Bathrooms: 0	
Incorrect Bedroom, Bath, or other information? ⓘ			
Section(s)			
Section Type	Ext. Wall Type	No. Stories	Floor Area
FINISHED LIVING AREA (FLA)	BRICK/BLOCK STUCCO OR SIDING (03)	1.00	1327
View Larger / Print / Save			



Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
1	DETACHED GARAGE (DGF3)	288	SF	1948	\$5,184.00
2	CARPORNT/POLE SHED UNFINISHED (UCP2)	324	SF	1974	\$680.00

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
6372 / 216	07/24/2024	Life Estate	Unqualified	Improved	\$100.00
5343 / 345	08/30/2019	Warranty Deed	Qualified	Improved	\$190,000.00
3070 / 1762	01/01/2006	Warranty Deed	Unqualified	Improved	\$1.00
3070 / 1760	01/01/2006	Trustees Deed	Unqualified	Improved	\$1.00
1325 / 1511	10/01/1994	Warranty Deed	Unqualified	Improved	\$1.00
1325 / 1510	10/01/1994	Warranty Deed	Unqualified	Improved	\$1.00
1079 / 1821	10/01/1990	Warranty Deed	Unqualified	Improved	\$133,000.00
1015 / 1077	05/01/1989	Personal Rep Deed	Qualified	Improved	\$58,000.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

Values shown are 2026 Working Values. If you need a 2025 Property Record Card, please contact our office.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$245,040	\$188,850	\$137,439	5.0254	\$690.69
SCHOOL BOARD STATE	\$245,040	\$188,850	\$163,850	3.0870	\$505.80
SCHOOL BOARD LOCAL	\$245,040	\$188,850	\$163,850	2.9980	\$491.22
LAKE COUNTY WATER DISTRICT	\$245,040	\$188,850	\$137,439	0.2940	\$40.41
NORTH LAKE HOSPITAL DIST	\$245,040	\$188,850	\$137,439	0.3859	\$53.04
ST JOHNS RIVER FL WATER MGMT DIST	\$245,040	\$188,850	\$137,439	0.1793	\$24.64
CITY OF MOUNT DORA	\$245,040	\$188,850	\$137,439	6.3000	\$865.87
LAKE COUNTY MSTU AMBULANCE	\$245,040	\$188,850	\$137,439	0.4629	\$63.62
LAKE COUNTY VOTED DEBT SERVICE	\$245,040	\$188,850	\$137,439	0.0400	\$5.50
				Total: 18.7725	Total: \$2,740.79

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

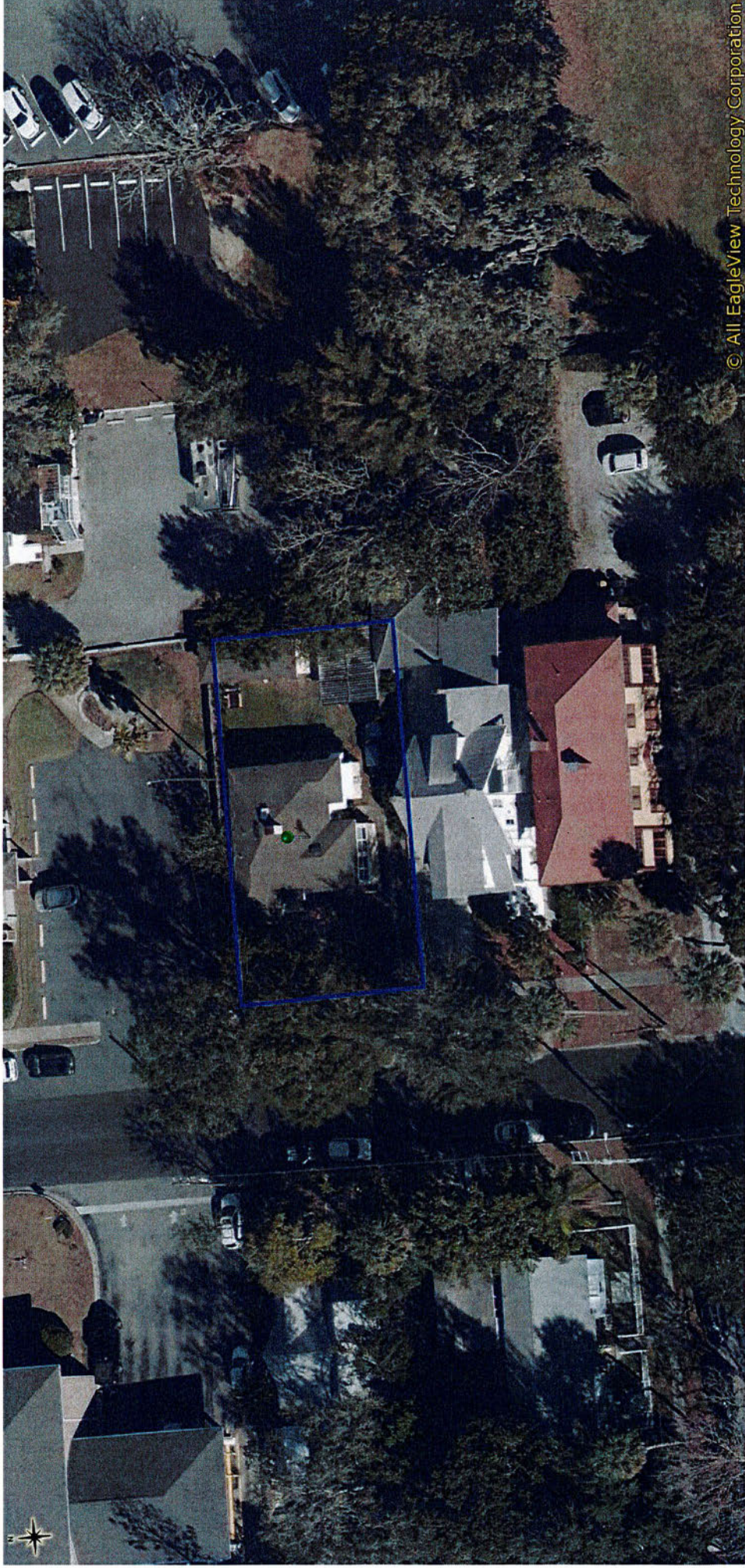
✓ Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
✓ Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$5,000)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$5,000)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5,000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data updated nightly.

Site Notice

410 N. Tremain St Existing



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01/15/2023

ESTIMATE #437
05/29/26 7:57 AM

84 LUMBER CO.

CUSTOMER COPY
PAGE 1

NAME: ECO CONSTRUCTION GROUP LLC
CODE: 1568132000-000-000
ADDRESS: 1224 N DONNELLY ST
MOUNT DORA, FL 32757
PHONE: (352) 504-0346 FAX:
PROJECT: R/S CEDAR
< THIS IS NOT A RECEIPT >

STORE: 1320 - TAVARES
ADDRESS: 3751 COUNTY ROAD 561
PHONE: (352) 742-8400
ASSOCIATE: JUSTIN SAYRE
EST DATE: 05/29/26 START: / /

P.O.S.#	QTY	DESCRIPTION	PRICE	EXTENDED
1.	1081622	70 1X8X16 WRC STD&BTR S1S2E	55.58	3890.60
			SUBTOTAL	\$3,890.60
			TAX	\$272.34
			TOTAL	\$4,162.94

84 LUMBER CO. ESTIMATE AND PRICING POLICY

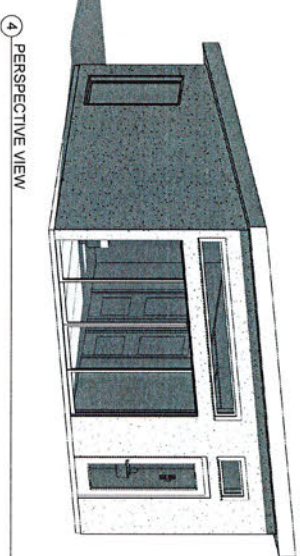
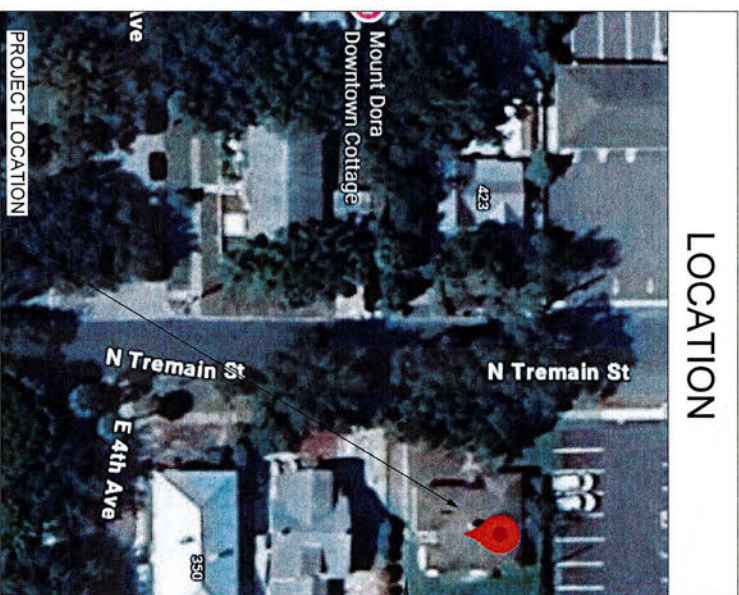
1. REGULAR UNIT PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE ANYTIME AFTER 7 DAYS FOLLOWING DATE OF ESTIMATE.
2. SALE PRICES ARE IN EFFECT ONLY UNTIL THE END OF THE ADVERTISED SALE PERIOD.
3. CUSTOMER DEPOSIT OF FULL AMOUNT OF ESTIMATED TOTAL PRICE WILL RENDER UNIT PRICES FIRM FOR 30 DAYS FROM DATE OF DEPOSIT.
4. 84 LUMBER CO. ASSUMES NO RESPONSIBILITY FOR ACCURACY OF TAKE OFFS FROM DRAWINGS OR BLUEPRINTS OR THAT THE PRODUCTS LISTED WILL BE SUFFICIENT TO COMPLETE CUSTOMER'S INTENDED PROJECT. CUSTOMERS SHOULD HAVE QUALIFIED ENGINEER OR ARCHITECT REVIEW ALL QUANTITIES.
5. THIS ESTIMATE DOES NOT CONSTITUTE A CONTRACT OF SALE OR GUARANTEE AVAILABILITY OF ANY PRODUCT LISTED.
6. ALL PRICES QUOTED BASED ON TOTAL PACKAGE PRICE AND SUBJECT TO CHANGE IF TOTAL PACKAGE NOT PURCHASED OR CONTENTS OF PACKAGE CHANGE.

For this project, call Maggie's Mgmt LLC dba 84 Insurance for a quote on Builders Risk Insurance at 877-866-1384 Opt. 1 Ext. 2165 or visit 84insurance.com.

Maggies Management, LLC is a licensed insurance producer and is a separate entity from 84 Lumber Co. 84 Lumber Co. is not licensed to and does not sell insurance.

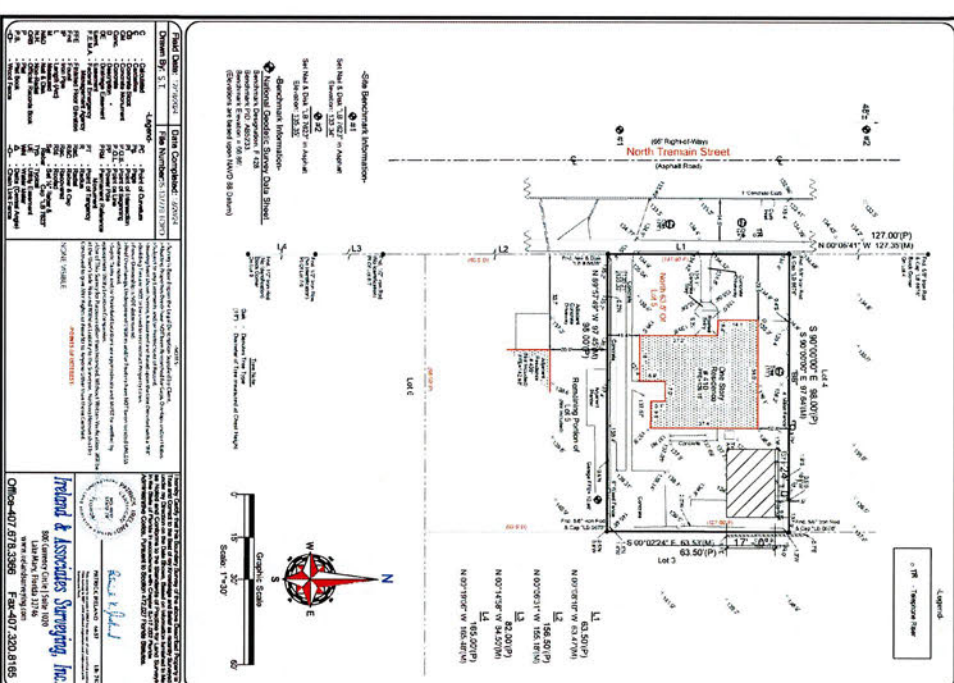
410 N TREMAIN ST

410 N Tremain St, Mt Dora, FL 32757



4 PERSPECTIVE VIEW

BOUNDARY & TOPOGRAPHIC SURVEY
LEGAL DESCRIPTION:
 THE SURVEY IS REFERRED TO AS 5 TREMAIN PLACE A SUBDIVISION IN THE CITY OF MOUNT DORA, ACCORDING TO THE MAP OR PLAN THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
FLOOD INFORMATION:
 THE PROPERTY IS LOCATED WITHIN THE LOCAL GOVERNING AGENCIES' OR JURISDICTION OF THE MOUNT DORA COMMUNITY NUMBER 12019, DATED 2/18/2012.
CERTIFIED TO:
 ROBERT ROCKES



NOTE: CERTIFICATION OF SITE PLAN APPLIES ONLY TO THE LOCATION OF THE PROPOSED WORK AND DOES NOT CONSTITUTE A SURVEY. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND LOCATION BEFORE CONSTRUCTION.

SCOPE OF WORK

PROPOSED STUDIO

Sheet List

Sheet Number	Sheet Name
0-0	COVER SHEET
A-1	FLOOR PLAN
SD-1	STRUCTURAL DETAILS FRAME
SD-2	STRUCTURAL DETAILS ROOF
SN	STANDARD NOTES

MATERIAL INDEX

	EARTH
	SAND/MORTAR
	CONCRETE
	BRICK
	METAL
	WOOD
	INSULATION
	CONCRETE MASONRY
	GYPSUM BOARD
	BOARD AND BATTEN

SYMBOLS

	2 X FRAME WALL
	2 X BEARING WALL W/ STUDS @ 16" O.C.
	8" X 16" CMU WALL W/ EXTERIOR STUCCO W/ INTERIOR R-MAX, 3/4" FURRING STRIPS & 1/2" DRYWALL
	8" X 16" CMU GARAGE WALL W/ EXTERIOR STUCCO
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
ROOM NAME X-X'-0" CLG	VIEW ORIENTATION
ROOM TAG	DETAIL NUMBER
DETAIL NUMBER	BUILDING SECTION KEY
DETAIL KEY	ELEVATION KEY

NOTICE

OWNER AND CONTRACTOR SHALL EXAMINE THE DRAWINGS AND ANY DOCUMENTATION IN DETAIL. IT SHALL BE THE FINAL RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND CONFIRM THE PLANS ACCURACY AND COMPLIANCE WITH REGULATORY AGENCIES. IT IS ORDINARY NOT TO INCLUDE DETAILS OF COMMON PRACTICE AND KNOWLEDGE OF A LICENSED CONTRACTOR. IF NECESSARY, FURTHER CLARIFICATION OF THESE PLANS SHOULD BE ACHIEVED BEFORE OBTAINING A CONSTRUCTION PERMIT AND START THE CONSTRUCTION. OTHERWISE THE CONTRACTOR AND OWNER ASSUMES RESPONSIBILITY FOR THE CONSTRUCTION IN QUESTION. METHODS OF CONSTRUCTION SHALL BE DETERMINED BY THE CONTRACTOR GENERAL CONTRACTOR SHALL VERIFY WITH SURVEYOR THAT DIMENSIONS INDICATED ON THE PLANS COMPLY WITH ALL YARD SETBACK REQUIREMENTS AND SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS BEFORE CONSTRUCTION. TO THE BEST OF OUR KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNERS AND/OR BUILDERS SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNERS AND/OR BUILDERS EXPENSE AND RESPONSIBILITY.



Digitally signed
 by James L
 Smith
 Date: 2026.04.29
 10:00:03 -04'00'



LEE SMITH
 LICENSED PROFESSIONAL ENGINEER
 State of Florida
 Registration # 38177
 391 W. Adina St. CA88856
 Winter, FL 32728
 Ph: (352) 295-1125

PROJECT INFORMATION
 ADDRESS: 410 N Tremain St, Mt Dora, FL 32757
 PROJECT # | DATE: 7/24/25
 778 | 04/20/25

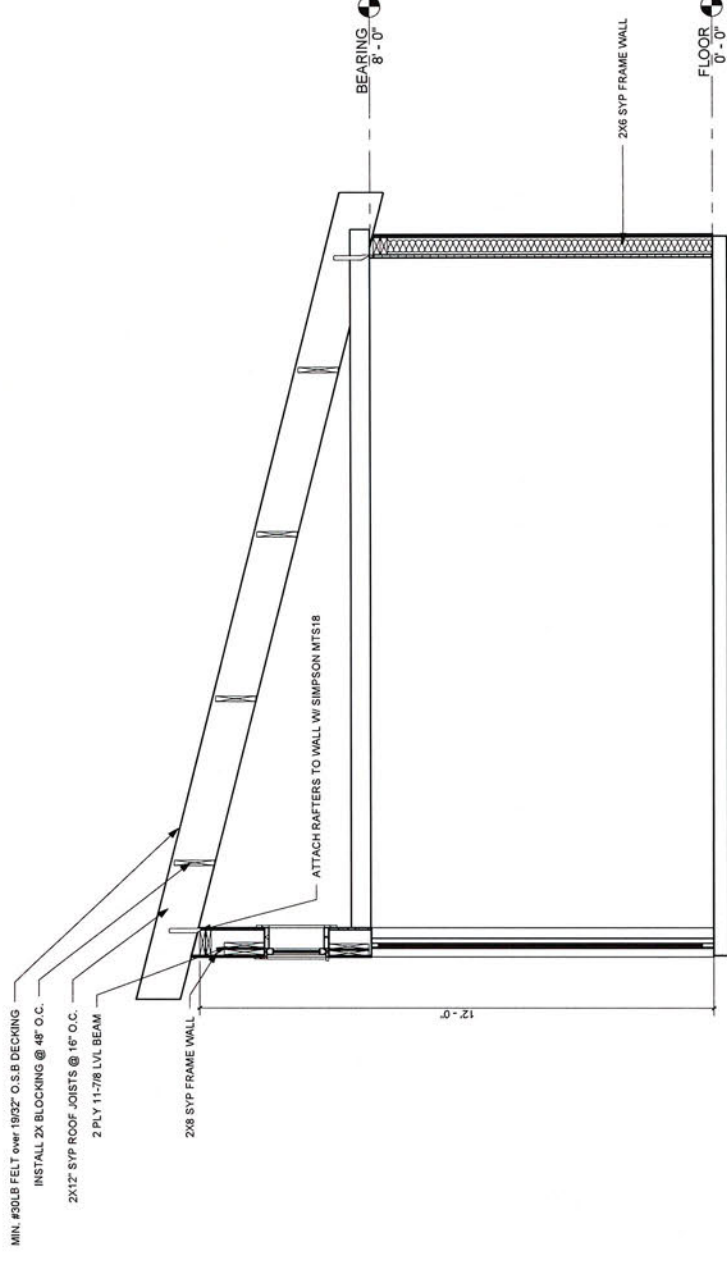
PERMIT SET
 SHEET
0-0

ROOF VENT CALCULATION

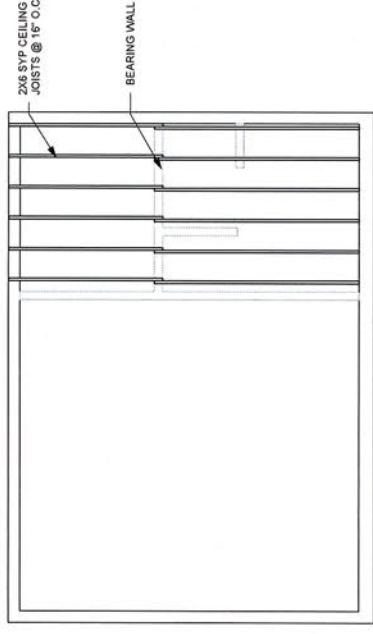
BASED ON 3154 SQ. FT. AND THE 1:150 GUIDELINE, IT WILL BE NEEDED A MINIMUM OF:

1513
SQ. FT.
EXHAUST NFVA
(ON SOFFITS / UNDEREAVE)

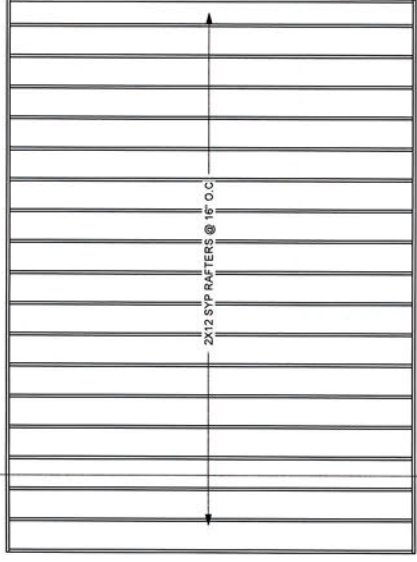
1513
SQ. FT.
EXHAUST NFVA
(ON SOFFITS / UNDEREAVE)



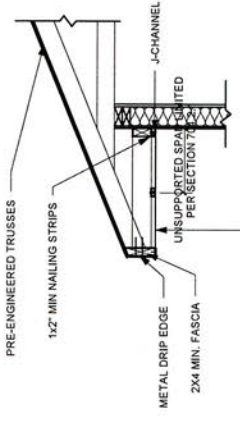
5 SECTION VIEW
1/2" = 1'-0"



3 CEILING PLAN
1/4" = 1'-0"

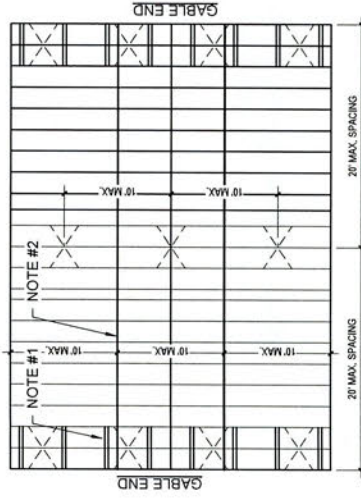


1 ROOF PLAN
1/4" = 1'-0"



FRAMING COVER PANELS SHALL BE MIN. OF 1/2" THICK. SHALL COMPLY WITH THE REQ. OF ASTM C1181 TYPE A. UN. GRADE OF 150 LBM. COVER SHALL BE INSTALLED OVER THE PANELS. COVER SHALL BE FASTENED TO THE WALLS WITH SPACING AND FASTENERS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

13 SOFFIT DETAIL - FRAME
NTS



2 ROOF - ROOF BRACING DETAIL - HANDFRAME
1/2" = 1'-0"

ROOF BRACING NOTES

- #1. 2X4 GABLE END BLOCKING @ 48" O.C. APPLIED ALONG TOP & BOTTOM CHORDS, IN FIRST TWO BAYS FROM GABLE END. (SEE GABLE END FRAMING DETAILS)
- #2. 1X4 MIN. CONTINUOUS COLLAR TIE LATERAL BRACING, 10'-0" MAX. SPACING BETWEEN BRACING SEGMENTS AND BEARING POINTS



LEE SMITH
ENGINEERING SERVICES
GROUP LLC
Professional Engineer
State of Florida
No. 36177
391 W. Alford St. CA#48886
Tavares, FL 32778
Ph. (352)386-1735

SIGN / SEAL

DATE

PROJECT INFORMATION

ADDRESS
410 N. TREMAIN ST., W. DORA, FL 32927
PROJECT #
DATE
7/8 04/2025

410 N TREMAIN ST

Digitally signed
by James L
Smith
Date: 2026.04.29
10:00:32 -04'00'



**STRUCTURAL
DETAILS
ROOF**

PERMIT SET
SHEET
SD-2

DESIGN LOADS

(THESE DESIGN LOADS BELOW ARE ALSO INTENDED TO SERVE AS INSTRUCTIONS TO THE DELEGATED TRUSS ENGINEER FOR THIS PROJECT.)

ROOF TRUSSES LIVE LOAD = 20psf DEAD LOAD = 7psf (TC) + 10psf (GC) (SHINGLES) FLOOR TRUSSES LIVE LOAD = 40psf DEAD LOAD = 10psf (TC) + 5psf (GC) DESIGN WIND LOADS IN ACCORDANCE WITH SECTION 9001 OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION AND ASCE 7-22



Digitally signed by James L Smith Date: 2026.04.29 10:00:39 -04'00'

NOTE TO DELEGATED ENGINEER

PRE-FABRICATED WOOD JOIST AND TRUSSES FOR ROOF ASSEMBLY AND FLOOR SYSTEMS (IF APPLICABLE) SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE TO ASTM D6955. ANSIPRI 1-1995 AND WTC 1-1995 AND SHALL BE CERTIFIED BY A FLORIDA REGISTERED ENGINEER AS EMPLOYED BY THE TRUSS MANUFACTURER (DELEGATED ENGINEER).

SLAB TO GIRADE

SLAB SHALL BE OVER JOIST POLYETHYLENE VAPOUR BARRIER SEALED ON TERMINI. FINISHED SOIL WHICH HAS COMPACTED TO 95% MOISTURE PROCTOR IN ACCORDANCE WITH ASTM D 1557. OR UNDISTURBED SOIL SLABS SHALL BE AT A MINIMUM ELEVATION OF 8" ABOVE FINISHED GRADE. HIGHER ELEVATION MAY BE SUBSTITUTED OR REQUIRED.

BEAR EMBLEMENT AND JOCK LENGTH END JOCK

FOR BEAR EMBLEMENT AND JOCK LENGTH END JOCK MINIMUM EMBEDMENT SHALL BE 7" AND BEND RADIUS SHALL BE 3"

CONNECTORS

ALL METAL FASTENERS SHALL CONFORM TO IS9700-NER-22 AND SHALL BE GALVANIZED OR STAINLESS STEEL WITHIN 3 MILES OF COASTAL SALT WATER AREA. FASTENERS SHALL NOT BE OVERDRIVEN BY MORE THAN 1/8"

CONCRETE

UNLESS OTHERWISE SPECIFIED, CAST-IN PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000psi. PRECAST CONCRETE UNITS SHALL BE 5000psi AT 28 DAYS.

CMU

ALL CONCRETE MASONRY UNITS SHALL BE STANDARD WEIGHT BLOCK CONFORMING TO ASTM C-90. TYPE II NON-MOISTURE CONTROLLED AND SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 1500psi.

MORTAR

MORTAR SHALL BE EITHER TYPE M OR S IN ACCORDANCE WITH ASTM C 270 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000psi.

GROUND

GROUND SHALL HAVE A MINIMUM COARSE AGGREGATE SIZE OF 3/8" PLACED AT AN 8" TO 10" SLUMP AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000psi AT 28 DAYS. SEE ACI AND ASTM SPECIFICATIONS FOR ADDITIONAL CRITERIA.

ELECTRICAL

ALL WIRING PER 2020 NEC CODE WHICH INCLUDE ARC FAULT BREAKERS, TAMPER PROOF RECEPTACLES, WEATHER PROOF RECEPTACLES, IN SERVICE COVERS, SMOKE AND CO2 DETECTOR RULES TO BE FOLLOWED.

REINFORCING STEEL

SINGLE APPLIANCES SHALL BE SIZED ACCORDING TO MANUFACTURER SPECIFICATIONS. REINFORCING STEEL SHALL BE A MINIMUM OF GRADE 40 AND SHALL CONFORM TO ASTM A615

WELDED WIRE MESH

WELDED WIRE MESH SHALL CONFORM TO ASTM A188. WELDED WIRE MESH SHALL BE SUPPLIED IN SHEETS NOT ROLLS.

ANCHOR BOLTS

CAST IN PLACE ANCHOR BOLTS SHALL BE GALVANIZED AND MUST EXTEND 7" MINIMUM INTO CONCRETE UNLESS OTHERWISE NOTED.

BUILDINGS

LOADS IF APPLICABLE ARE TO BE DESIGNED TO RESIST A 200lb CONCENTRATED LOAD AT ANY POINT AND IN ANY DIRECTION.

TREATING LUMBER

ALL WOOD MEMBERS THAT ARE WITHIN 8" OF FINISHED GRADE LEVEL, ALL EXPOSED UNFINISHED WOOD AND ALL WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR OTHER MASONRY SHALL BE TREATED WITH A MINIMUM OF 0.45% RETEN-10 AND SHALL CONFORM WITH SECTION 517 THROUGH 523 PER BUILDING CODE APPLICATION.

ROOF DECKING

UNLESS OTHERWISE SPECIFIED, ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD INSTALLED WITH EDGE CLIPS IN EACH BAY. ALL SHEATHING SHALL BE APA RATED FOR THE USE INTENDED.

PREFABRICATED PRODUCTS

LAMINATED VENEER LUMBER SHALL CONFORM TO ASTM D6466 STANDARD SPECIFICATION FOR EVALUATION OF STRUCTURAL COMPOSITE LUMBER PRODUCTS. ALL WOOD STRUCTURAL PANELS (FIBERGLASS JIB) SHALL CONFORM TO PS-1 AND PS-2 PERFORMANCE REQUIREMENTS FOR WOOD BASED STRUCTURAL USE. PLYWOOD, MFD SHALL NOT BE USED IN ANY EXTERIOR APPLICATIONS.

CONTRACTOR RESPONSIBILITIES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR START OF CONSTRUCTION. WRITTEN DIMENSIONS SHALL BE PROMPTLY REPORTED TO THE ENGINEER OF ANY DEVIATIONS OR DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ENGINEER OF RECORD. CONTRACTOR SHALL MAKE ALL EFFORTS TO PROTECT THE STRUCTURE, THE WORK PERSONS AND OTHER PEOPLE DURING CONSTRUCTION.

GENERAL NOTES

- 1. ALL CONNECTIONS HAVE BEEN CHECKED TO WITHSTAND ALL APPLICABLE LOADS.
2. ALL DETAILS AND SECTION SHOWN ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ON THE PROJECT UNLESS OTHERWISE NOTED.
3. ALL CONCRETE BLOCKS SHALL BE STANDARD WEIGHT BLOCKS CONFORMING TO ASTM C90.
4. WHERE SHOWN, CORES OF CONCRETE BLOCK SHALL BE 1-45 REBAR CONTINUOUS FROM FOUNDATION TO BOND BEAM AND FILL WITH PEA GRAVEL CONCRETE. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500psi @ 28 DAYS AND SLUMP EQUAL TO 8 TO 10 INCHES.
5. IN MASONRY HEADERS, EXTEND THE BOTTOM STEEL REINFORCEMENT A MINIMUM OF 6" INTO PLASTER OR POURED COLUMN AND WIRE TO VERTICAL STEEL REINFORCEMENT (REBAR).
6. SOIL BORINGS HAVE NOT BEEN SOLE. FOOTINGS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000psf. LESSOR SOIL BEARING CAPACITY IS THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.
7. FOOTING SHALL BEAR ON SOIL COMPACTED TO A DENSITY OF AT LEAST 96% OF THE STANDARD PROCTOR MAXIMUM DENSITY AND TREATED FOR TERMITES IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION.
8. FILL UNDER THE FLOOR SLAB SHALL BE COMPACTED TO AT LEAST 96% OF THE STANDARD PROCTOR MAXIMUM DENSITY AND TREATED FOR TERMITES IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION.
9. CONCRETE SHALL HAVE AN UNCOMFORMED COMPRESSIVE STRENGTH OF 2,500psi AT 28 DAYS.
10. THE BUILDING CONTRACTOR SHALL CHECK ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS, STEVES, ANCHORS, HANGERS, SLAB DEPRESSIONS, DIMENSIONS, LOCATION, PLACEMENT AND CONTINITY.
11. ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615 GRADE 40.
12. ALL CONTINUOUS VERTICAL OR HORIZONTAL REBAR IN FOOTING, BEAMS AND OTHER CONCRETE SHALL BE SPICED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR REBAR IN CONTACT. THE LENGTH OF ALL OVERLAPS SHALL BE A MINIMUM OF 40 BAR DIAMETERS.
13. THE PRECAST Lintel SUPPLIER SHALL DESIGN THE UNITS FOR ADEQUATE SUPERIMPOSED LOADS. THE DESIGN SHALL A.C.I. STANDARD AND THE STANDARD BUILDING CODES.
14. ALL FRAMING SHALL BE FABRICATED AND INSTALLED AS PER A.I.C. T.P.L. AND THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
15. ALL WOOD STRUCTURAL MEMBERS SHALL BE CONTROLLED STRESS GRADE LUMBER HAVING A FIBER STRESS OF AT LEAST 1,200psi.
16. ALL WOOD MATERIALS ARE TO BE FASTENED IN ACCORDANCE WITH THE 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION TABLE 2304.1 UNLESS NOTED OTHERWISE.
17. CONCRETE STABS WILL BE REINFORCED WITH EITHER #6 OR #8 WIRE MESH OR REBAR.
18. SPECIFIED CONNECTIONS MAY BE SUBSTITUTED WITH CONNECTIONS FROM MANUFACTURERS WITH EQUAL OR GREATER VALUE.

MINIMUM WOOD STRUCTURAL PANEL ROOF SHEATHING THICKNESS

Table with columns for WIND SPEED (115 MPH to 180 MPH) and EXPOSURE (A, B, C, D). Rows list Rafter/Truss Spacing (24" O.C. MAX) and various panel types (RAFTER/TRUSS, RAFTER/TRUSS, RAFTER/TRUSS).

MAIL SPECIFICATIONS

IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE, RESIDENTIAL, 8TH EDITION, THE MINIMUM FASTENER TO BE EMPLOYED IN SECURING ROOF SHEATHING MATERIALS IS TO BE AS SHOWN SHOWN WITH THE FOLLOWING DIMENSIONS:
NOMINAL SHANK DIAMETER 0.113"
NOMINAL SHANK DIAMETER 0.07" OVER SHANK DIAMETER
MINIMUM TOTAL LENGTH: 2"

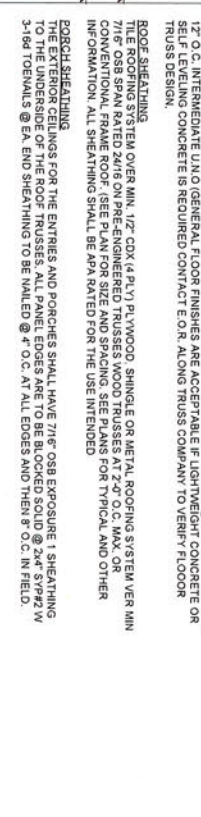
CONNECTOR SCHEDULE

Table with columns: NAME, FASTENERS, Ue (ft-lb), Ue (ft-lb), Ue (ft-lb), REF. Lists various fasteners like W4, W6, W8, W10, W12, W14, W16, W18, W20, W22, W24, W26, W28, W30, W32, W36, W40, W44, W48, W52, W56, W60, W64, W68, W72, W76, W80, W84, W88, W92, W96, W100, W104, W108, W112, W116, W120, W124, W128, W132, W136, W140, W144, W148, W152, W156, W160, W164, W168, W172, W176, W180, W184, W188, W192, W196, W200, W204, W208, W212, W216, W220, W224, W228, W232, W236, W240, W244, W248, W252, W256, W260, W264, W268, W272, W276, W280, W284, W288, W292, W296, W300, W304, W308, W312, W316, W320, W324, W328, W332, W336, W340, W344, W348, W352, W356, W360, W364, W368, W372, W376, W380, W384, W388, W392, W396, W400, W404, W408, W412, W416, W420, W424, W428, W432, W436, W440, W444, W448, W452, W456, W460, W464, W468, W472, W476, W480, W484, W488, W492, W496, W500, W504, W508, W512, W516, W520, W524, W528, W532, W536, W540, W544, W548, W552, W556, W560, W564, W568, W572, W576, W580, W584, W588, W592, W596, W600, W604, W608, W612, W616, W620, W624, W628, W632, W636, W640, W644, W648, W652, W656, W660, W664, W668, W672, W676, W680, W684, W688, W692, W696, W700, W704, W708, W712, W716, W720, W724, W728, W732, W736, W740, W744, W748, W752, W756, W760, W764, W768, W772, W776, W780, W784, W788, W792, W796, W800, W804, W808, W812, W816, W820, W824, W828, W832, W836, W840, W844, W848, W852, W856, W860, W864, W868, W872, W876, W880, W884, W888, W892, W896, W900, W904, W908, W912, W916, W920, W924, W928, W932, W936, W940, W944, W948, W952, W956, W960, W964, W968, W972, W976, W980, W984, W988, W992, W996, W1000.

ROOF SHEATHING ATTACHMENT TAIL SPACING (A-B)

Table with columns for WIND SPEED (115 MPH to 180 MPH) and EXPOSURE (A, B, C, D). Rows list Rafter/Truss Spacing (24" O.C. MAX) and various panel types (RAFTER/TRUSS, RAFTER/TRUSS, RAFTER/TRUSS).

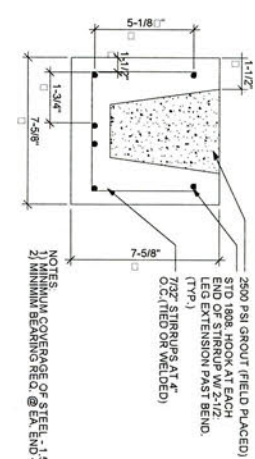
ROOF SHEATHING PATTERN



ULTIMATE DESIGN WIND SPEED

Table with columns for Wind Speed (110 mph to 200 mph) and various parameters like Height, Exposure, etc.

APPLICABLE CODES
FLORIDA BUILDING CODE BUILDING 2023 8TH EDITION
MECHANICAL CODE MECHANICAL 2023 8TH EDITION
PLUMBING CODE PLUMBING 2023 8TH EDITION
ELECTRICAL CODE ELECTRICAL 2023 8TH EDITION
ENERGY CODE ENERGY CODE
METHOD OF DESIGN ASCE 7-22



CONNECTOR SCHEDULE

Table with columns: NAME, FASTENERS, Ue (ft-lb), Ue (ft-lb), Ue (ft-lb), REF. Lists various fasteners like W4, W6, W8, W10, W12, W14, W16, W18, W20, W22, W24, W26, W28, W30, W32, W36, W40, W44, W48, W52, W56, W60, W64, W68, W72, W76, W80, W84, W88, W92, W96, W100, W104, W108, W112, W116, W120, W124, W128, W132, W136, W140, W144, W148, W152, W156, W160, W164, W168, W172, W176, W180, W184, W188, W192, W196, W200, W204, W208, W212, W216, W220, W224, W228, W232, W236, W240, W244, W248, W252, W256, W260, W264, W268, W272, W276, W280, W284, W288, W292, W296, W300, W304, W308, W312, W316, W320, W324, W328, W332, W336, W340, W344, W348, W352, W356, W360, W364, W368, W372, W376, W380, W384, W388, W392, W396, W400, W404, W408, W412, W416, W420, W424, W428, W432, W436, W440, W444, W448, W452, W456, W460, W464, W468, W472, W476, W480, W484, W488, W492, W496, W500, W504, W508, W512, W516, W520, W524, W528, W532, W536, W540, W544, W548, W552, W556, W560, W564, W568, W572, W576, W580, W584, W588, W592, W596, W600, W604, W608, W612, W616, W620, W624, W628, W632, W636, W640, W644, W648, W652, W656, W660, W664, W668, W672, W676, W680, W684, W688, W692, W696, W700, W704, W708, W712, W716, W720, W724, W728, W732, W736, W740, W744, W748, W752, W756, W760, W764, W768, W772, W776, W780, W784, W788, W792, W796, W800, W804, W808, W812, W816, W820, W824, W828, W832, W836, W840, W844, W848, W852, W856, W860, W864, W868, W872, W876, W880, W884, W888, W892, W896, W900, W904, W908, W912, W916, W920, W924, W928, W932, W936, W940, W944, W948, W952, W956, W960, W964, W968, W972, W976, W980, W984, W988, W992, W996, W1000.

STANDARD NOTES
410 N TREMAIN ST
PERMIT SET SHEET
SN

PROJECT INFORMATION
DATE
SIGN/SEAL
LEE SMITH
TOOLBOX ENGINEERING SERVICES
Professional Engineer
Registration # 28177
301 W. W. 1st St.
P.O. Box 12378
P.O. 32528-1238
FL 32528-1238



HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

Site #8 LA03845
 Recorder # 339
 Field Date 3/15/2008
 Form Date 3/15/2008
 FormNo 200803
 FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? YES

GENERAL INFORMATION

Site Name (address if none) 410 N TREMAIN ST Multiple Listing (DHR only) _____
 Other Names _____ >> _____
 Survey or Project Name _____ Survey# _____
 National Register Category Building(s)

LOCATION & IDENTIFICATION

Street No.	Direction	Street Name	Street Type	Direction Suffix
<u>410</u>	<u>North</u>	<u>TREMAIN</u>	<u>Street</u>	

Cross Streets (nearest/ between) _____
 City / Town (within 3 miles) Mount Dora In Current City Limits? YES
 County Lake Tax Parcel #(s) _____
 Subdivision Name _____ Block _____ Lot _____
 Ownership _____
 Name of Public Tract (e.g., park) _____
 Route to (especially if no street address) _____

MAPPING

USGS 7.5' Map Name _____ Publication Date >> EUSTIS; 1980
 Township: _____ Range: _____ Section: _____ 1/4 section: _____ >> 19S ; 27E ; 32; UNSP
 Irregular Section Name: _____
 Landgrant _____
 UTM: Zone _____ Easting _____ Northing _____
 Plat or Other Map (map's name, location) _____

DESCRIPTION

Style Masonry Vernacular Other Style _____
 Exterior Plan Irregular Other Exterior Plan _____
 Number of Stories 1
 Structural System(s) >> Concrete block
 Other Structural System(s) _____
 Foundation Type(s) >> Continuous
 Other Foundation Types _____
 Foundation Material(s) >> Poured Concrete Footing
 Other Foundation Material(s) _____
 Exterior Fabric(s) >> Stucco
 Other Exterior Fabric(s) _____
 Roof Type(s) >> Hip
 Other Roof Type(s) _____
 Roof Material(s) >> _____
 Other Roof Material(s) _____
 Roof Secondary Structure(s) (dormers etc) >> _____
 Other Roof Secondary Structure(s) _____
 Number of Chimneys 1
 Chimney Material _____
 Other Chimney Material(s) _____
 Chimney Location(s) _____

HISTORICAL STRUCTURE FORM

81A03845

DESCRIPTION (continued)

Window Descriptions CASEMENT 4

Main Entrance Description (stylistic details)

Porches: #open 1 #closed _____ #incised _____ Location(s) _____

Porch Roof Types(s)

Exterior Ornament

Interior Plan

Other Interior Plan

Condition Good

Structure Surroundings

Commercial: _____ Residential: MOSTly this category

Institutional: _____ Undeveloped: _____

Ancillary Features (Number / type of outbuildings, major landscape features)

Archaeological Remains (describe):

If archaeological remains are present, was an Archaeological Site Form completed? _____

Narrative Description (optional)

HISTORY

Construction year 1949

Architect (last name first): _____

Builder (last name first): _____

Changes in Locations or Conditions

Type of Change	Year of Change	Date Change Noted	Description of Changes
----------------	----------------	-------------------	------------------------

>>	[Redacted]		
----	------------	--	--

Structure Use History

Use _____ Year Use Started _____ Year Use Ended _____ >> Private residence; 1949;

Other Structure Uses _____

Ownership History (especially original owner, dates, profession, etc.)

RESEARCH METHODS

Research Methods _____ >> Examine local tax records

Other research methods _____

SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register? YES

Name of Local Register if Eligible _____

Individually Eligible for National Register? NO

Potential Contributor to NR District? YES

Area(s) of historical significance _____

>> [Redacted]

Other Historical Associations _____

Explanation of Evaluation (required) Because the resource retains much of its historic integrity and is located in a well-preserved collection of historic buildings, it appears to contribute to a historic district.

HISTORICAL STRUCTURE FORM

8LA03845

DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF, Including Field Notes, Plans, other Important Documents:

Document type: _____ Maintaining Organization: _____
File or Accession #: _____ Descriptive Information: _____

>> _____

RECORDER INFORMATION

Recorder Name (Last, First) Bland, Myles
Recorder Address / Phone 4104 St. Augustine Road Jacksonville, FL
Recorder Affiliation Bland & Associates, Inc Other Affiliation _____
Is a Text-Only Supplement File Attached (Surveyor Only)? NO

***** MASTER SITE FILE USE ONLY *****

Cultural Resource Type: SS
Electronic Form Used: S110
Form Type Code: NORM
Form Quality Ranking: NEW
Form Status Code: SCAT

SHPO's Evaluation of Resource

____ Date _____

Supplement Information Status: NO SUPPLEMENT
Supplement File Status: NO SUPPLEMENT FILE

FMSF Staffer: _____
Computer Entry Date: 5/28/2008

Form Comments: _____

REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"

LA03845-200803

Supplementary Printout

- > **USGS map name/year of publication or revision:**
EUSTIS;1980

- > **Township/Range/Section/Qtr:**
19S ;27E ;32;UNSP

- > **Structural system(s):**
Concrete block

- > **Foundation types:**
Continuous

- > **Foundation materials:**
Poured Concrete Footing

- > **Exterior fabrics:**
Stucco

- > **Roof types:**
Hip

- > **Roof materials:**

- > **Roof secondary structures (dormers etc):**

- > **Change status/year changed/date noted/nature:**

- > **Original, intermediate, present uses/year started/year ended:**
Private residence;1949;

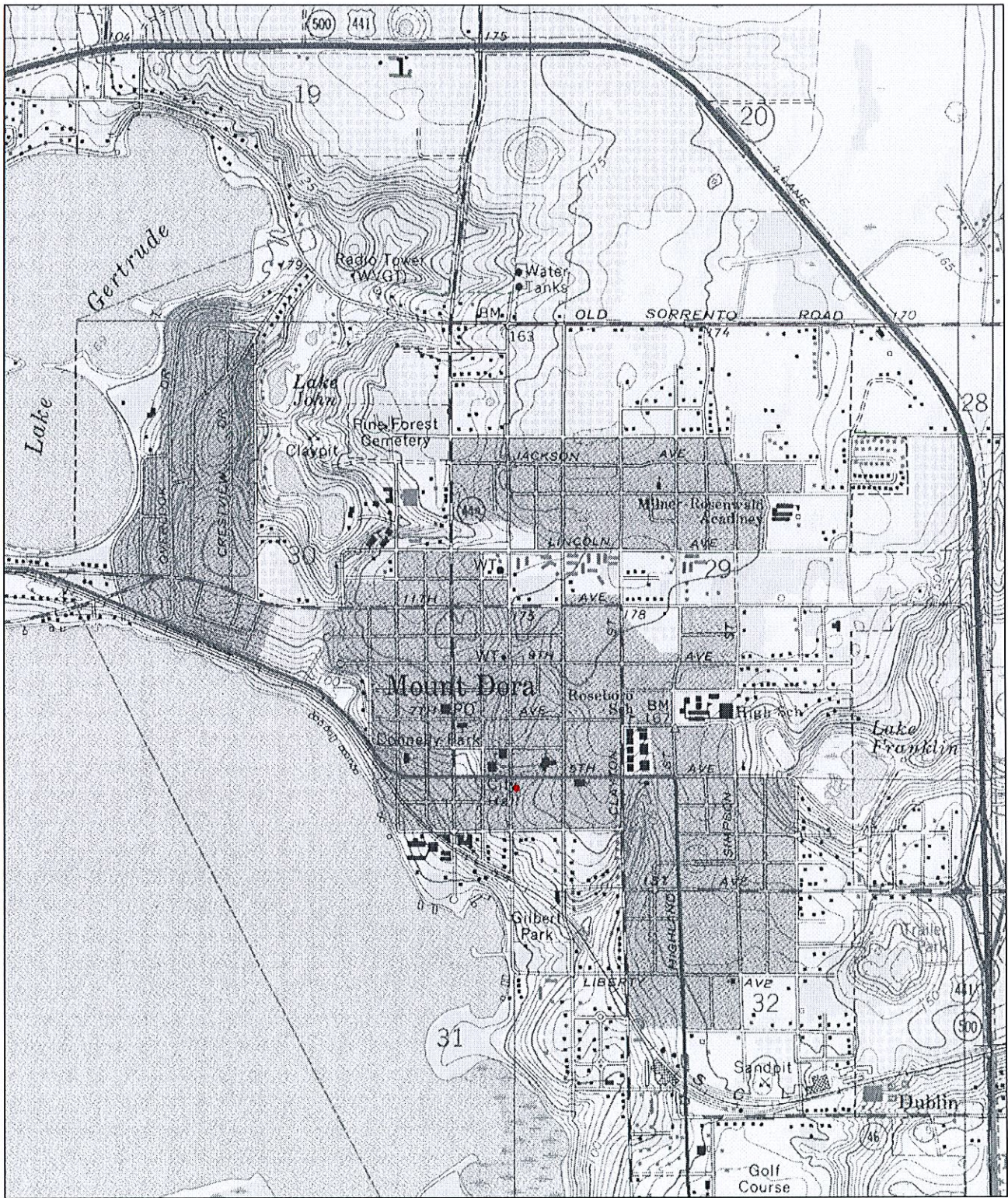
- > **Research methods:**
Examine local tax records
FL Master Site File-Cultural Resources
Pedestrian

- > **Area(s) of historical significance:**

- > **Repositories: Collection/Housed/Accession#/Describe**

- > **[Other name(s)]:**

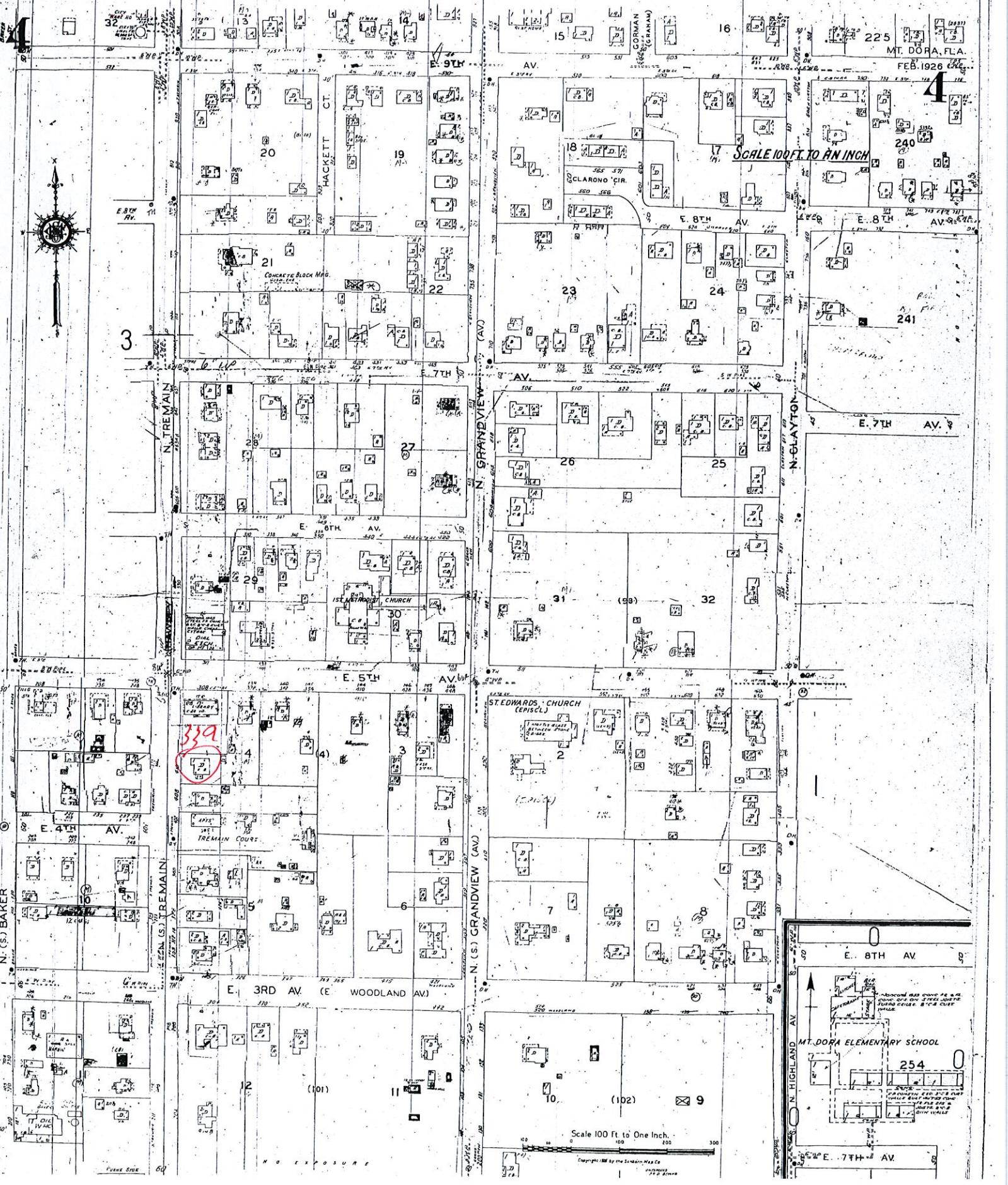
339



Map provided by MyTopo.com

LA3845

SCALE 100 FT. TO AN INCH



E. 8TH AV.

MT. DORA ELEMENTARY SCHOOL

254

E. 7TH AV.

N. HIGHLAND AV.

Scale 100 Ft. to One Inch.

Copyright 1926 by the Tremain Map Co.

LA 3845



339

LA 3845



DATE: June 24, 2026

TO: Historic Preservation Board

FROM: Michele Janiszewski, AICP, Senior Planner

RE: **Tab 2 - Certificate of Appropriateness; 822 Alexander Street (Location); Reroof (Proposed Work); Craig K Mello and Susan B Life Estate (Owners); Superb Restoration, LLC (Applicant).**

Property Information:

Address:	822 Alexander Street	Current Use:	Residential
Zoning District:	R-3	Land Use:	High Density

Structure Information:

Date of Construction:	1923	Style:	Frame Vernacular
Siding:	Wood Drop Siding	Stories:	1.5
Roof Type:	Gable	Chimneys:	One
Roof Material:	Metal Shingles	Porch:	Enclosed

Background on Architectural Style:

The subject residence was constructed in the Frame Vernacular style. This style of buildings were first constructed by lay or self-taught carpenters to provide basic shelter without attention to architectural style. The buildings reflect locally available building materials, the skills and regional background of the builder and environmental conditions. Often ornamentation was applied at a later date, reflecting an owner's new prosperity. Vernacular buildings were widely constructed in Mount Dora from the 1880s through the 1930s.

This style of architecture is characterized with horizontal wood siding (less common, wood shingles, board and Batten); gable roof with wood shingles during 19th Century, metal during late 19th century, and composition and asbestos shingles beginning in 1920s; and simple detailing including jig-sawn woodwork on porches, around eaves, corbeling on chimneys.

Plan: regular, rectangular; ell and irregular also common.

Foundation: Piers, wood, tabby or coquina prior to Civil War; brick, concrete block after.

Height: one to two and one-half stories.

Primary Exterior Material: horizontal wood siding; less common, wood shingles, board and batten.

Roof type: gable, less common hip, pyramidal; false front on commercial buildings.

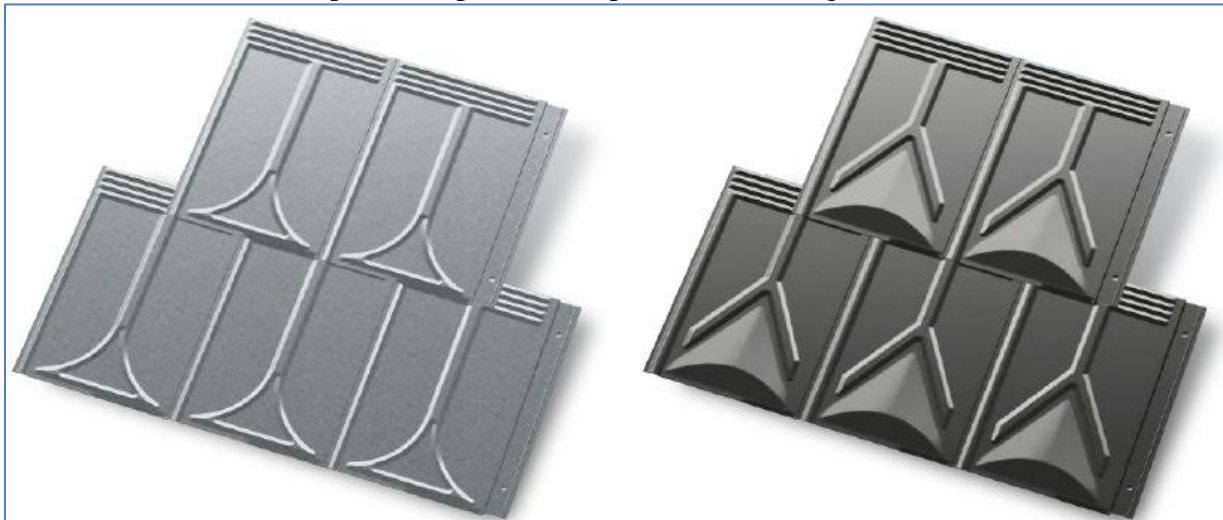
Requested Action:

Remove the metal shingles and replace with Victorian Shingles. The application states that the reason for the modification is because the roof is damaged.

Existing Metal Shingle Roof



Example of Proposed, Composite Slate Shingle Tile Roof



Guidance from Land Development Code (LDC).

LDC Section 3.4.6 (2)(b), states that it is also the intent to promote visually compatible, contemporary designs that are harmonious with the exterior architectural and landscape features of adjacent, neighboring or visually related buildings, structures, sites and streetscapes.

Guidance from the Historic Design Guidelines:

The roof is one of the most critical features of any building, and its function and physical integrity is critical to a building’s long-term care and preservation. When roofs fail, allowing moisture and water to get into the walls, foundation and other building systems, deterioration of these materials

is greatly accelerated. Therefore, it is of primary importance that roofing systems be properly maintained.

The roof's shape, pattern of roofing materials, color, and features (dormers, chimneys, cupolas) are all important in defining the building's overall character. Drainage systems, including gutters, scuppers, and downspouts help carry water away from the building. They serve a functional purpose while also being important design features.

Roofing Replacement

- a. **Historic Roofing:** Whenever possible, replace historic roofing materials such as terra cotta tile or metal shingle, with materials that match the existing.
- b. **Substitute Materials:** When in-kind replacement of the historic material is not feasible, install substitute materials that are visually and physically compatible with the historic roof material. New materials should match historic materials in the size, shape, profile, and general appearance as much as possible.
- c. **Metal Replacement:** Replacement metal roofing should match the original metal roof in layout, configuration, appearance of the seams, profile of ridges, and trim. Galvalume finish (silver) can be approved for any building that originally had a metal roof. 5-v crimp was historically used for accessory buildings, barns, and carriage houses and is not preferred for a primary structure. Ribbed panels are also not appropriate for a primary structure since they are more industrial in appearance. Both 5-v crimp and ribbed/PBR panels use exposed fasteners for installation, which are visible on the surface of the roof. Because they are exposed, they are generally not recommended due to their vulnerability to weathering, potential for leaks, and need for more frequent maintenance compared to concealed fastener systems.
- d. **Metal Shingle Replacement:** Original metal shingle roofs are scarce and hold significant value, both in terms of their material and their historical and aesthetic appeal. Their retention is heavily encouraged and painting them gives them a much longer lifespan (silver paint specifically designed for metal surfaces). New metal shingles are still available but can be costly. If not feasible, a standing seam galvalume roof is the preferred replacement.

Findings of Fact:

LDC Section 3.6.4 (2) (a), states that the Historic Preservation Board shall utilize the most recent U.S. Secretary of Interior's Standards for Historic Rehabilitation and Guidelines for Rehabilitation and the Mount Dora Historic Preservation Design Guidelines as the standards by which applications for certificate of appropriateness are to be evaluated. The Mount Dora Historic Design Guidelines are based on the U.S. Secretary of Interior's Standards for Historic Rehabilitation and Guidelines for Rehabilitation.

LDC Section 3.6.4 (2)(b), states it is also the intent to promote visually compatible, contemporary designs that are harmonious with the exterior architectural and landscape features of adjacent, neighboring or visually related buildings, structures, sites and streetscapes.

Staff has reviewed the application for consistency with the U.S. Secretary of Interior's Standards for Historic Rehabilitation, Mount Dora Historic Preservation Design Guidelines, and the

standards for visual compatibility established in LDC Section 3.6.4 (2)(b) (hereto referred to the ‘Standards of Review’), and found:

1. The Mount Dora Historic Design Standards state, ‘replace historic roofing materials such as terra cotta tile or metal shingle, with materials that match the existing;’ and
2. The Mount Dora Historic Design Standards state ‘When in-kind replacement of the historic material is not feasible, install substitute materials that are visually and physically compatible with the historic roof material. New materials should match historic materials in the size, shape, profile, and general appearance as much as possible’; and
3. The Mount Dora Historic Design Standards state, ‘Original metal shingle roofs are scarce and hold significant value, both in terms of their material and their historical and aesthetic appeal. Their retention is heavily encouraged and painting them gives them a much longer lifespan (silver paint specifically designed for metal surfaces). New metal shingles are still available but can be costly. If not feasible, a standing seam galvalume roof is the preferred replacement’; and
4. The request promotes visual compatibility with the exterior architectural of adjacent, neighboring or visually related buildings, structures, sites and streetscapes as required by LDC Section 3.6.4 (2)(b).

Therefore, based on these Findings of Fact, staff finds the application consistent with the Standards for Review.

Board Action:

The Historic Preservation Board may:

1. Reject Staff’s Findings of Fact and Approve the application, as presented, after determining that the roof cannot be repaired and the proposed slate tiles are match the historic metal shingles in size, shape, profile, and general appearance as much as possible;
2. Partially reject Staff’s Findings of Fact and Approve the application with conditions to ensure the application is consistent with the Standards of Review. Note: The motion should clearly state the Standards of Review the proposed conditions will address.
3. Accept Staff’s Findings of Fact and Deny the application based on inconsistencies between the application and the Standards of Review.

Attachments:

Photos
Application
2008 Site Form
2020 Site Form



CITY OF MOUNT D O R A

Site Photos















HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

Site #8 IA00290
 Recorder # 79
 Field Date 3/15/2008
 Form Date 3/15/2008
 FormNo 200803
FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? NO

GENERAL INFORMATION

Site Name (address if none) 822 N Alexander St Multiple Listing (DHR only) _____
 Other Names _____ >> _____
 Survey or Project Name _____ Survey# _____
 National Register Category Building(s)

LOCATION & IDENTIFICATION

Address

Street No.	Direction	Street Name	Street Type	Direction Suffix
<u>822</u>	<u>North</u>	<u>Alexander</u>	<u>Street</u>	

Cross Streets (nearest/ between) _____
 City / Town (within 3 miles) Mount Dora In Current City Limits? YES
 County Lake Tax Parcel #(s) _____
 Subdivision Name _____ Block _____ Lot _____
 Ownership _____
 Name of Public Tract (e.g., park) _____
 Route to (especially if no street address) _____

MAPPING

USGS 7.5' Map Name _____ Publication Date >> EUSTIS; 1980
 Township: _____ Range: _____ Section: _____ 1/4 section: _____ >> 19S ; 27E ; 30; UNSP
 Irregular Section Name: _____
 Landgrant _____
 UTM: Zone _____ Easting _____ Northing _____
 Plat or Other Map (map's name, location) _____

DESCRIPTION

Style Frame Vernacular Other Style _____
 Exterior Plan Irregular Other Exterior Plan _____
 Number of Stories 1.5
 Structural System(s) >> Wood frame
 Other Structural System(s) _____
 Foundation Type(s) >> Piers
 Other Foundation Types _____
 Foundation Material(s) >> Brick
 Other Foundation Material(s) _____
 Exterior Fabric(s) >> Drop siding
 Other Exterior Fabric(s) _____
 Roof Type(s) >> Gable
 Other Roof Type(s) _____
 Roof Material(s) >> _____
 Other Roof Material(s) _____
 Roof Secondary Structure(s) (dormers etc) >> _____
 Other Roof Secondary Structure(s) _____
 Number of Chimneys 1
 Chimney Material _____
 Other Chimney Material(s) _____
 Chimney Location(s) _____

HISTORICAL STRUCTURE FORM

81A00290

DESCRIPTION (continued)

Window Descriptions casement 1, 2/2

Main Entrance Description (stylistic details) _____

Porches: #open _____ #closed 1 #incised _____ Location(s) _____

Porch Roof Types(s) _____

Exterior Ornament _____

Interior Plan _____

Other Interior Plan _____

Condition Good

Structure Surroundings

Commercial: _____ Residential: MOSTly this category

Institutional: _____ Undeveloped: _____

Ancillary Features (Number / type of outbuildings, major landscape features) _____

Archaeological Remains (describe): _____

If archaeological remains are present, was an Archaeological Site Form completed? _____

Narrative Description (optional) _____

HISTORY

Construction year 1923

Architect (last name first): _____

Builder (last name first): _____

Changes in Locations or Conditions

Type of Change	Year of Change	Date Change Noted	Description of Changes
----------------	----------------	-------------------	------------------------

>> _____

Structure Use History

Use _____ Year Use Started _____ Year Use Ended _____ >> Private residence; 1923;

Other Structure Uses _____

Ownership History (especially original owner, dates, profession, etc.) _____

RESEARCH METHODS

Research Methods _____ >> Examine local tax records

Other research methods _____

SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register? YES

Name of Local Register if Eligible _____

Individually Eligible for National Register? NO

Potential Contributor to NR District? YES

Area(s) of historical significance _____

>> _____

Other Historical Associations _____

Explanation of Evaluation (required) Because the resource retains much of its historic integrity and is located in a well-preserved collection of historic buildings, it appears to contribute to a historic district.

HISTORICAL STRUCTURE FORM

8LA00290

DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF, Including Field Notes, Plans, other Important Documents.

Document type: _____ Maintaining Organization: _____
File or Accession #: _____ Descriptive Information: _____

>> _____

RECORDER INFORMATION

Recorder Name (Last, First) Bland, Myles
Recorder Address / Phone 4104 St. Augustine Road Jacksonville, FL
Recorder Affiliation Bland & Associates, Inc Other Affiliation _____
Is a Text-Only Supplement File Attached (Surveyor Only)? NO

***** MASTER SITE FILE USE ONLY *****

Cultural Resource Type: SS
Electronic Form Used: S110
Form Type Code: NORM
Form Quality Ranking: NEW
Form Status Code: SCAT

SHPO's Evaluation of Resource

Date _____

Supplement Information Status: NO SUPPLEMENT
Supplement File Status: NO SUPPLEMENT FILE

FMSF Staffer: _____
Computer Entry Date: 5/24/2008

Form Comments: _____

REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"

LA00290-200803

Supplementary Printout

- > **USGS map name/year of publication or revision:**
EUSTIS;1980

- > **Township/Range/Section/Qtr:**
19S ;27E ;30;UNSP

- > **Structural system(s):**
Wood frame

- > **Foundation types:**
Piers

- > **Foundation materials:**
Brick

- > **Exterior fabrics:**
Drop siding

- > **Roof types:**
Gable

- > **Roof materials:**

- > **Roof secondary structures (dormers etc):**

- > **Change status/year changed/date noted/nature:**

- > **Original, intermediate, present uses/year started/year ended:**
Private residence;1923;

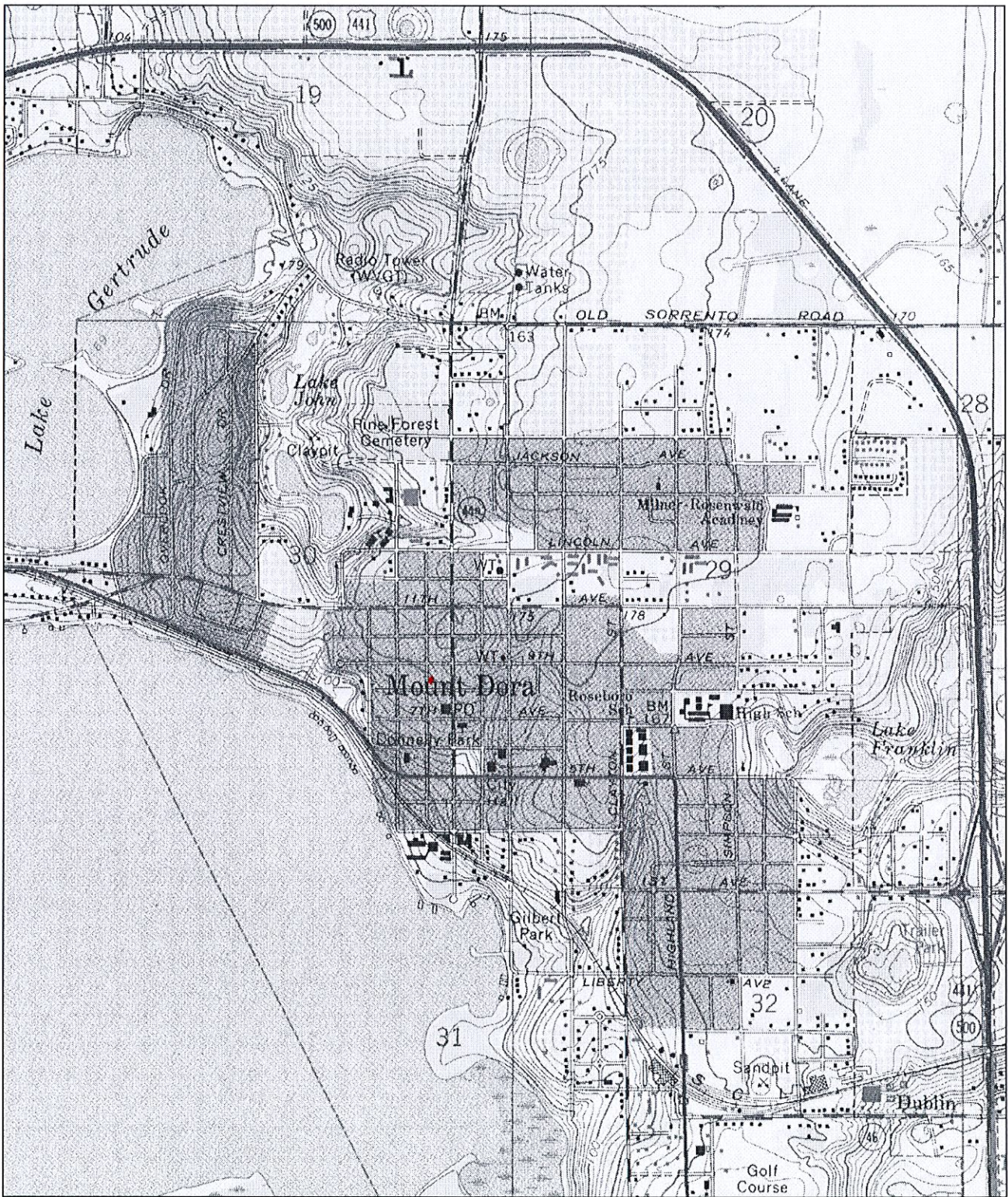
- > **Research methods:**
Examine local tax records
FL Master Site File-Cultural Resources
Pedestrian

- > **Area(s) of historical significance:**

- > **Repositories: Collection/Housed/Accession#/Describe**

- > **[Other name(s)]:**

79



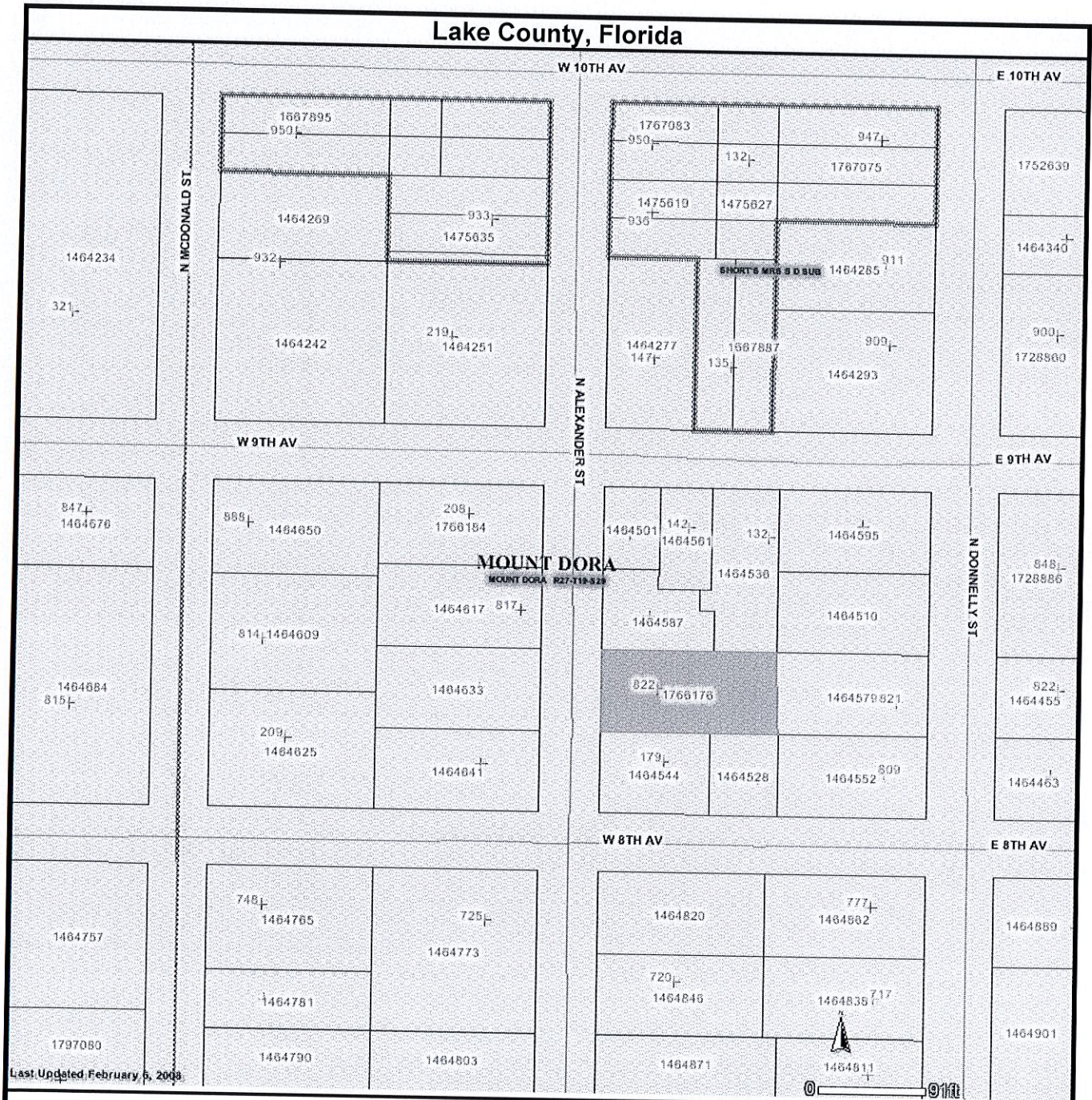
0 ————— 0.5 Mi
 0 ————— 2000 Ft

Map provided by MyTopo.com

~~LA3123~~

LA290

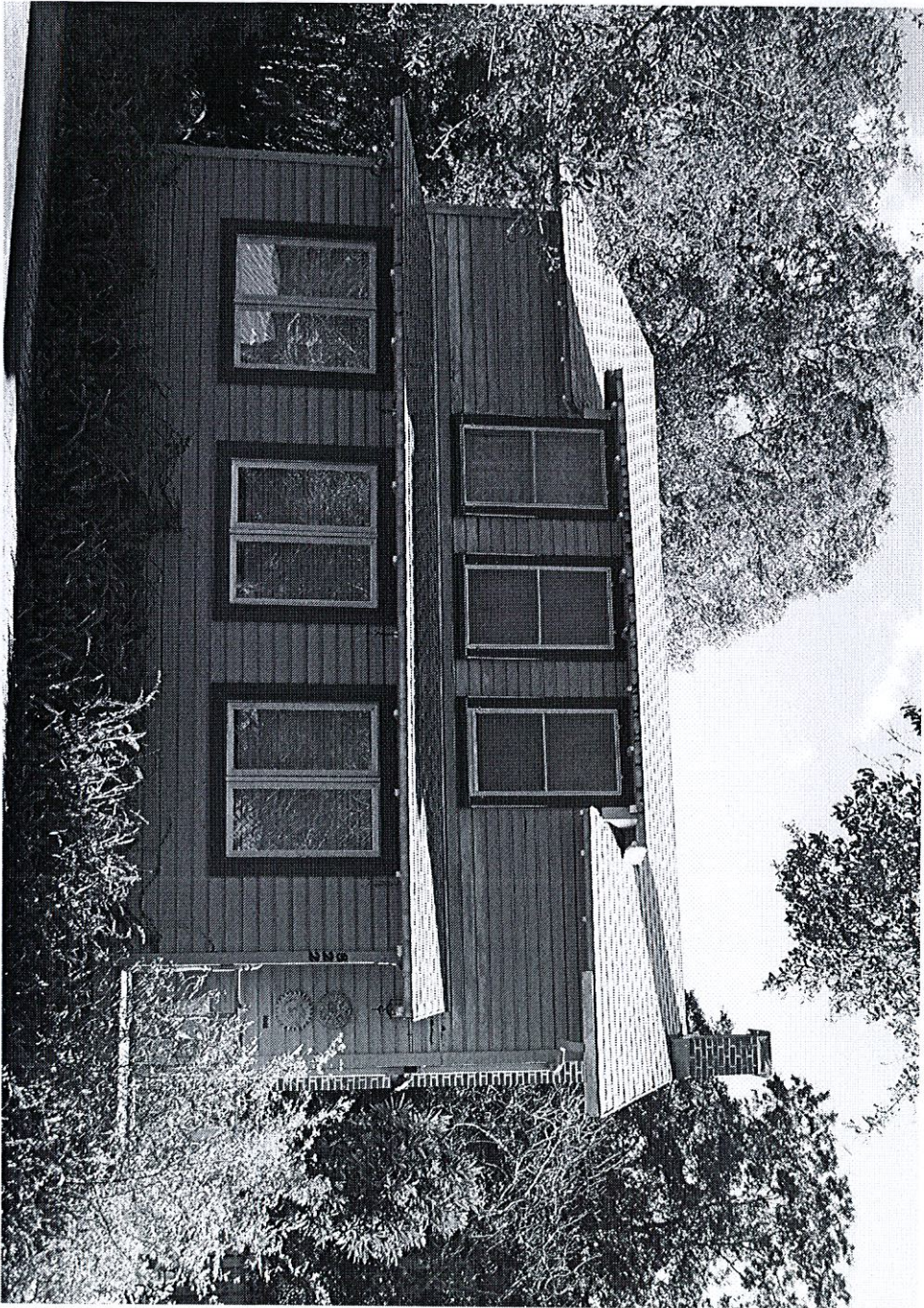
Lake County, Florida



Last Updated February 6, 2008

- | | | |
|------------------------------|--------------------|--------------------|
| Highlighted Feature | COUNTY PROPERTY | FRUITLAND PARK |
| LAKE AOPKA LDR | STREETS | GROVELAND |
| PARCELS | BUILT | HOWEY-IN-THE-HILLS |
| ALTERNATE KEY NUMBERS | PLATTED NOT BUILT | LADY LAKE |
| STRUCTURE/ADDRESS | CITY LIMITS | LEESBURG |
| | ASTATULA | MASCOTTE |
| | CLERMONT | MINNEOLA |
| | EUSTIS | MONTVERDE |
| | (cont) | MOUNT DORA |
| | | TAVARES |
| | | (cont) |

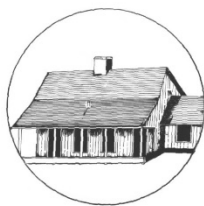
RN79
LA290



LA 290

79

- Original
- Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 _____
 Field Date _____
 Form Date _____
 Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) _____ Multiple Listing (DHR only) _____
 Survey Project Name _____ Survey # (DHR only) _____
 National Register Category (please check one) building structure district site object
 Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: Street Number _____ Direction _____ Street Name _____ Street Type _____ Suffix Direction _____
 Cross Streets (nearest / between) _____
 USGS 7.5 Map Name _____ USGS Date _____ Plat or Other Map _____
 City / Town (within 3 miles) _____ In City Limits? yes no unknown County _____
 Township _____ Range _____ Section _____ ¼ section: NW SW SE NE Irregular-name: _____
 Tax Parcel # _____ Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone 16 17 Easting _____ Northing _____
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: _____ approximately year listed or earlier year listed or later
 Original Use _____ From (year): _____ To (year): _____
 Current Use _____ From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: yes no unknown Date: _____ Original address _____
 Alterations: yes no unknown Date: _____ Nature _____
 Additions: yes no unknown Date: _____ Nature _____
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style _____ Exterior Plan _____ Number of Stories _____
 Exterior Fabric(s) 1. _____ 2. _____ 3. _____
 Roof Type(s) 1. _____ 2. _____ 3. _____
 Roof Material(s) 1. _____ 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Distinguishing Architectural Features (exterior or interior ornaments)

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	Owner Objection _____

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____ 3. _____
Structural System(s): 1. _____ 2. _____ 3. _____
Foundation Type(s): 1. _____ 2. _____
Foundation Material(s): 1. _____ 2. _____
Main Entrance (stylistic details)

[Empty box for Main Entrance details]

Porch Descriptions (types, locations, roof types, etc.)
[Empty box for Porch Descriptions]

Condition (overall resource condition): excellent good fair deteriorated ruinous
Narrative Description of Resource
[Empty box for Narrative Description]

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

- FMSF record search (sites/surveys) library research building permits Sanborn maps
FL State Archives/photo collection city directory occupant/owner interview plat maps
property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)
[Empty box for Bibliographic References]

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information
Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information
Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)
[Empty box for Explanation of Evaluation]

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents
1) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____
2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name _____ Affiliation _____
Recorder Contact Information _____
(address / phone / fax / e-mail)

Required Attachments
1 USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED
2 LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
3 PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

Street Map

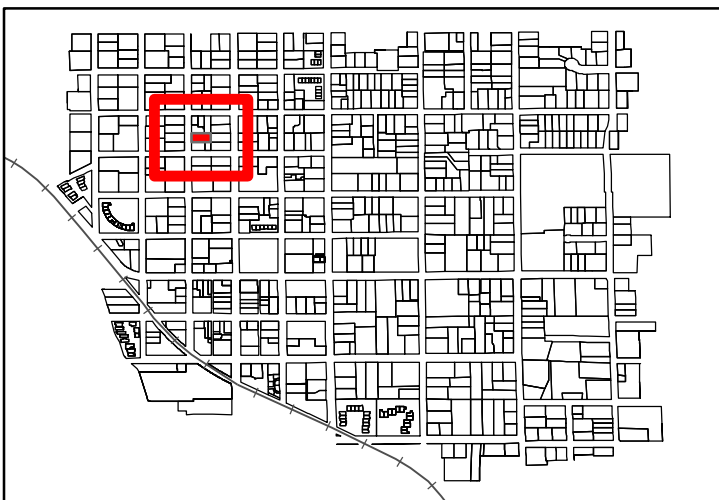


N



822 ALEXANDER ST MOUNT DORA FL 32757

0 40 80 160
|-----|-----|-----|-----| Feet



LA00290



Data Sources: Lake County, City of Mount Dora

USGS Map



LA00290



822 ALEXANDER ST MOUNT DORA FL 32757



822



CITY OF
MOUNT
DORA



Planning and Development
510 N. Baker St.
Mount Dora, FL 32757
352-735-7113
plandev@cityofmountdora.com

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
Renovations, Additions and New Construction**

Property Address: 822 ALEXANDER ST Alternate Key No.: 17060176

Property Owner: MELIC CRAIG K & SPAN B LIFE ESTATE

Applicant: SUPERB RESTORATION LLC

Applicant's Mailing Address: 123810 STATE ROAD 535, ORLANDO FL 32836

Applicant's Phone Number: (407) 430-9010

Applicant's Email Address: [REDACTED]

Current Building Use (e.g. residential or commercial): RESIDENTIAL

Application Type:

- New Construction
- Addition
- Renovation

Check any structural systems or elements which will be affected by this project:

- Steps or Stairways
- Foundation
- Siding/Stucco/Façade Work
- Windows
- Porches or Porte Cochere
- Walls/Structural
- Doors
- Chimney
- Roof
- Walls or Fences
- Exterior Lighting
- Landscape Features

Existing Materials / Style: VICTORIAN SHINGLE / METAL ROOF

Proposed Materials / Style: VICTORIAN SHINGLE / METAL ROOF

Full Description of Proposed Alteration(s) or Construction including materials; please attach additional documentation if needed: RE-ROOF WITH EXISTING VICTORIAN METAL SHINGLE

Reason for Addition / Modification: DAMAGED ROOF

For Window & Door Modifications, will the grid pattern be replicated? N/A

Is there a chimney on the building and will it be affected? RE-FLASHED

Note: This application is for a Certificate of Appropriateness from the Historic Preservation Board only. The proposed work must also meet Zoning and Building Code Requirements; additional permits may be required. Submission of the application implies permission is granted to the City of Mount Dora to inspect and document any necessary information needed to process this request. All formal correspondences will be provided via email.



BUILDING PERMIT APPLICATION

BFP-001

Please print and provide all information, incomplete applications may not be processed.

COMMERCIAL

RESIDENTIAL

JOB ADDRESS: 822 ALEXANDER ST SUITE #: _____

TENANT NAME: MELLO CRAIG K & SUSAN B ALTERNATE KEY: 17666176
(ATTACH COPY OF PROPERTY TAX APPRAISERS'S PROPERTY SEARCH RECORD CARD)

LIFE ESTATE

PROPERTY OWNER

Name: MELLO CRAIG K & SUSAN B LIFE ESTATE

Address: 822 ALEXANDER ST

City: MOUNT DORA State: FL Zip: 32757 Phone Number: _____

Contact Person: CRAIG MELLO Phone: _____ E-Mail: _____

CONTRACTOR / DEVELOPER

Company Name: SUPERB RESTORATION

License Holder Name: TERENZIO ESTRELLA

State License #: CCC1333152 Lake Co Comp Card #: _____

Address (street/city/state/zip) 12386 STATE ROAD 535, ORLANDO, FL 32836

Telephone: (407)436-9010 E-Mail: PERMITTING@SUPERBRESTORATIONFL.COM

Contact Person: KOU Phone: (407)436-9010

WORK DESCRIPTION

PROVIDE OCCUPANCY (SEE CHAPTER 3 FBC) _____

New Construction... [] Mechanical..... [] Electrical..... [] Plumbing..... []

Alteration..... [] Roofing..... Gas..... [] Addition..... []

Fence..... [] Demolition..... [] Sign..... [] Change of Use..... []

Other..... []

Description of Project: RE-ROOF

Conditioned Square Feet: 4,672 Unconditioned SF. 1,383 Total Square Feet: 6,055

Total Cost of Construction: \$61,000.00 Type of Construction (FBC Chap.6): TYPE V

of Story's: 2 Height of Building: 28 FEET # of Bedrooms 4

Architect/Engineer's Name: N/A

Phone #: _____ E-Mail: _____

Structures over 50 years old in Historical Review Area, and/ or on the City, County, State or National Historic Register shall require an additional review and approvals.

NOTICE OF COMMENCEMENT:

A Notice of Commencement must be recorded and filed with the Building Division prior to the first inspection.
All permits with a job value greater than \$5,000.00 require a Notice of Commencement.
*Exception - Mechanical permits valued over \$15,000.00 require a Notice of Commencement.

UTILITIES

Water Meter: Size of Meter: ____ # of Meters: ____ Irrigation Meter: Size of Meter: ____ # of Meters: ____

Irrigation Check one: Potable [] Reclaimed [] (All potable meters will require a backflow preventer)

SUBCONTRACTORS

Electrical: Company Name _____ Lic #: _____ Value: \$ _____

Check one: S.E.C.O. [] Duke Energy [] Mount Dora Utilities []

****MOUNT DORA RULES AND PROCEDURES FOR ELECTRIC SERVICE ARE AVAILABLE IN OFFICE OR ONLINE****

T Pole [] Yes [] No Size of new Service or increase for service upgrade: ____ v ____ a ____ phase

Plumbing: Company Name _____ Lic #: _____ Value: \$ _____

City Sewer _____ Septic _____

Mechanical: Company Name _____ Lic #: _____ Value: \$ _____

Roofing: Company Name SUPERB RESTORATION LLC Lic #: 0001333152 Value: \$ 61,000.00

Gas: Company Name _____ Lic #: _____ Value: \$ _____

Irrigation: Company Name _____ Lic #: _____ Value: \$ _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for work not encompassed in the scope of this permit. I acknowledge that the Building and Fire Safety Department may utilize drones while performing inspections on my project.

Affidavit: I certify that all the foregoing information is accurate and that all the work will be done in compliance with all applicable laws regulating construction and zoning.

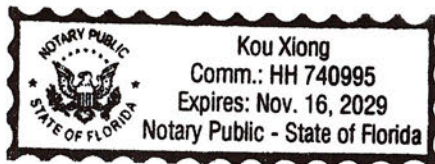
Signature of Contractor (Owner if Owner-Builder)

5/13/20
Date

STATE OF FLORIDA COUNTY OF ORANGE

Sworn to (or affirmed) and subscribed before me by means of [] physical presence or [] online notarization, this 13 day of MAY, 20 20, by Terenzio Estrella, who [] is personally known to me or [] produced _____ as identification.

SEAL:



[Signature]
Signature of Notary



CITY OF MOUNT DORA

Planning and Development
510 N. Baker St.
Mount Dora, FL 32757
352-735-7113
plandev@cityofmountdora.com

AGENT AUTHORIZATION

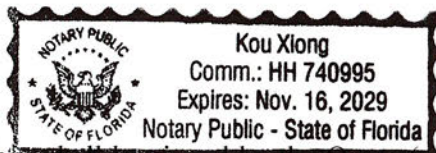
I/we, (Property owner name(s)) CRAIG K. MELLO, SUSAN B. MELLO, as the owner(s) of the real property described as follows, 822 N ALEXANDER ST, MOUNT DORA, FL 32757 (Address, Parcel ID or Alternate Key Number of subject property), do hereby authorize SUPERB RESTORATION, LLC to act as my/our Agent, to execute any petitions/applications or other documents necessary to affect the request for RE-ROOF (Application Type), and to appear on my/our behalf before any administrative, legislative or quasi-judicial body in the City pertaining to the application described above and to act in all respects as my/our Agent in matters pertaining to the application and City process.

<u>CRAIG K. MELLO</u> Printed Name of Property Owner	<u>[Signature]</u> Signature of Property Owner	<u>5/14/26</u> Date
<u>SUSAN B. MELLO</u> Printed Name of Property Owner	<u>Susan B. Mello</u> Signature of Property Owner	<u>5/14/26</u> Date

State of Florida
County of LAKE

Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization, this 14 day of MAY, 2026 by CRAIG MELLO.

Personally known OR Produced Identification
Type of Identification Produced: FL DRIVER'S LICENSE



[Signature]
Notary Signature

Note: All applications shall be signed by the Owner(s) of the property, or the Agent as duly authorized herein by the Owner(s).

PROPERTY RECORD CARD

General Information

Name:	MELLO CRAIG K & SUSAN B LIFE ESTATE	Alternate Key:	1766176
Mailing Address:	822 ALEXANDER ST MOUNT DORA, FL 32757 Update Mailing Address	Parcel Number: ⓘ	29-19-27-0010-035-00006
		Millage Group and City:	OMD1 Mount Dora
		2025 Total Certified Millage Rate:	18.7725
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	822 ALEXANDER ST MOUNT DORA FL, 32757	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	MOUNT DORA, 30-19-27 N 70 FT OF S 140 FT OF W 140 FT OF BLK 35 PB 3 PGS 37-43 ORB 781 PG 1287 ORB 6150 PG 675		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	SINGLE FAMILY (0100)	70	140		9800.000	FD		\$116,901.00	\$116,901.00
					Click here for Zoning Info ⓘ		FEMA Flood Map		

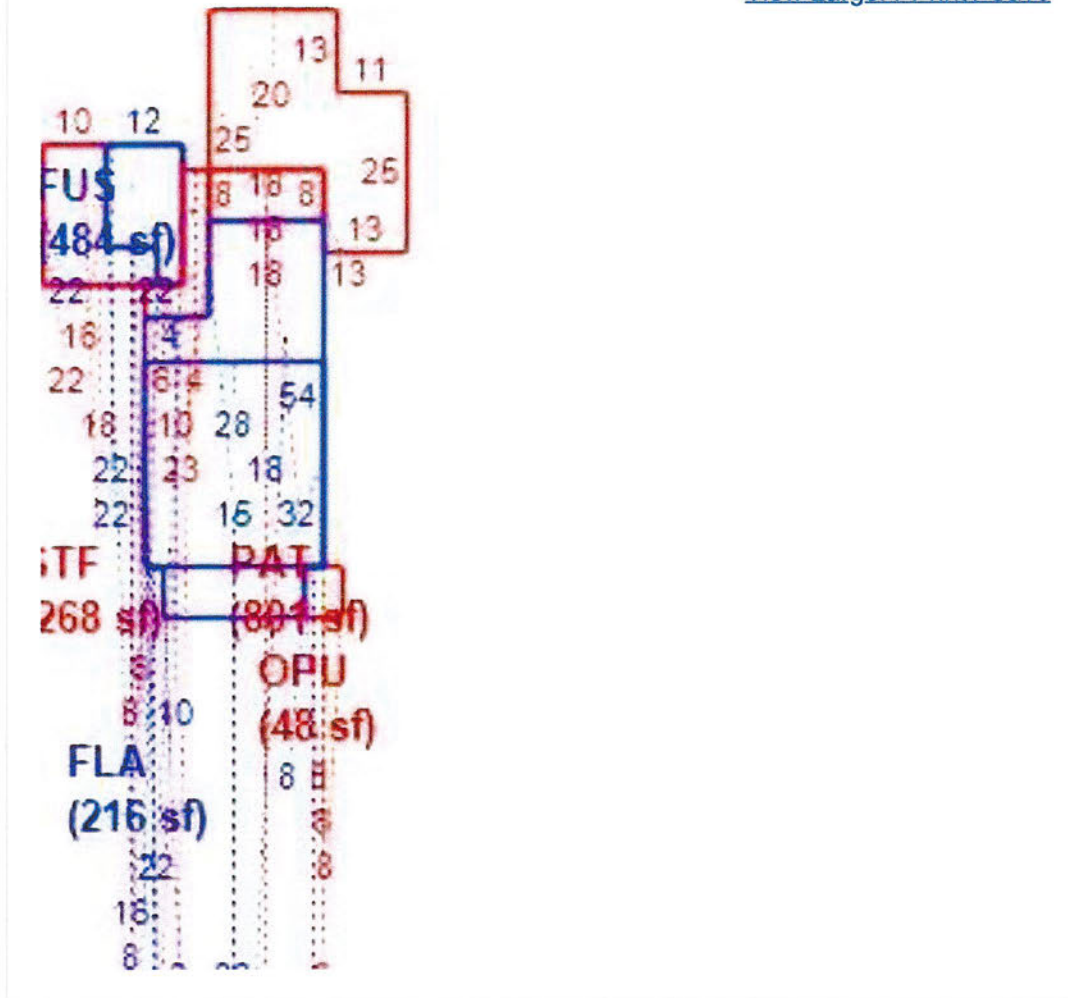
Residential Building(s)

Building 1

Residential	Building Value: \$479,144.00		
Summary			
Year Built: 1920	Total Living Area: 4672 ⓘ	Central A/C: Yes	Fireplaces: 0
Bedrooms: 4	Full Bathrooms: 3	Half Bathrooms: 1	
Incorrect Bedroom, Bath, or other information? ⓘ			
Section(s)			
Section Type	Ext. Wall Type	No. Stories	Floor Area
FINISHED LIVING AREA (FLA)	WOOD/METAL FRAME W/OUTER FINISH (01)	2.00	1754
FINISHED AREA UPPER STORY (FUS)		2.00	2918

OPEN PORCH FINISHED (OPF)	2.00	266
OPEN PORCH UNFINISHED (OPU)	2.00	48
PATIO UNCOVERED (PAT)	2.00	801
STORAGE ROOM FINISH (STF)	2.00	268

[View Larger / Print / Save](#)



Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
1	SCREEN ENCLOSED STRUCTURE (SEN1)	1880	SF	1997	\$1,166.00

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
6150 / 675	05/25/2023	Quit Claim Deed	Unqualified	Improved	\$100.00
781 / 1287	07/01/1983	Warranty Deed	Qualified	Improved	\$69,000.00
727 / 1400	05/01/1981	Warranty Deed	Qualified	Improved	\$64,500.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

Values shown are 2026 Working Values. If you need a 2025 Property Record Card, please contact our office.
 The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$597,211	\$282,770	\$231,359	5.0254	\$1,162.67
SCHOOL BOARD STATE	\$597,211	\$282,770	\$257,770	3.0870	\$795.74
SCHOOL BOARD LOCAL	\$597,211	\$282,770	\$257,770	2.9980	\$772.79
LAKE COUNTY WATER DISTRICT	\$597,211	\$282,770	\$231,359	0.2940	\$68.02
NORTH LAKE HOSPITAL DIST	\$597,211	\$282,770	\$231,359	0.3859	\$89.28
ST JOHNS RIVER FL WATER MGMT DIST	\$597,211	\$282,770	\$231,359	0.1793	\$41.48
CITY OF MOUNT DORA	\$597,211	\$282,770	\$231,359	6.3000	\$1,457.56
LAKE COUNTY MSTU AMBULANCE	\$597,211	\$282,770	\$231,359	0.4629	\$107.10
LAKE COUNTY VOTED DEBT SERVICE	\$597,211	\$282,770	\$231,359	0.0400	\$9.25
				Total: 18.7725	Total: \$4,503.89

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

✓ Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
✓ Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$5,000)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$5,000)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5,000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

After recording return to
SUPERB RESTORATION - Kou
12380 STATE ROAD 535
ORLANDO, FL, 32836

NOTICE OF COMMENCEMENT

Permit No _____
Tax Folio or Alternate Key # 1766176

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement

- 1 Description of property (legal description of the property and street address if available)
MOUNT DORA, 30-19-27N 70 FT OF S 140 FT OF W 140 FT
OF BLK 35 PB 2 PGS 37-43 CRB 781 PG 12.87 CRB 615D PG 675
Street Address 822 ALEXANDER ST
- 2 General description of improvement RESIDENTIAL RE-ROOF
- 3 Owner's Information
(or Lessee information if the Lessee contracted for the improvement)
Name HELLO CRAIG K & SUSAN B LIFE ESTATE
Address 822 ALEXANDER ST, MOUNT DORA, FL 32757
Interest in Property OWNER
Name and Address of fee simple titleholder (if different from Owner listed above) _____
- 4 Contractor Information
Name SUPERB RESTORATION
Address 12380 STATE ROAD 535, ORLANDO, FL 32836
Telephone No (407) 430-9010 Fax No (Opt) _____
- 5 Surety Information
(if applicable a copy of the payment bond is attached)
Name _____
Address _____
Telephone No _____ Fax No (Opt) _____
Amount of Bond _____
- 6 Lender Information
Name _____
Address _____
Telephone No _____ Fax No (Opt) _____
- 7 Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)
(a)7 Florida Statutes
Name _____
Address _____
Telephone No _____ Fax No (Opt) _____
- 8 In addition to himself or herself, Owner designates _____ of _____
to receive a copy of the Lienor's Notice as Provided in Section 713.13(1)(b), Florida Statutes
Name _____
Address _____
Telephone No _____ Fax No (Opt) _____
- 9 Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified)

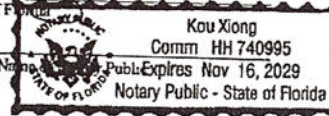
WARNING TO OWNER ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE SITE OF THE IMPROVEMENT BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

K Hello / Susan B mello
(Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)
Owner
Signatory's Title/Office

The foregoing instrument was acknowledged before me this 32 day of APRIL, 2026 by CRAIG E SUSAN MELLO who is personally known to me or has produced FL DRIVER'S LICENSE as identification and who did or did not take an oath

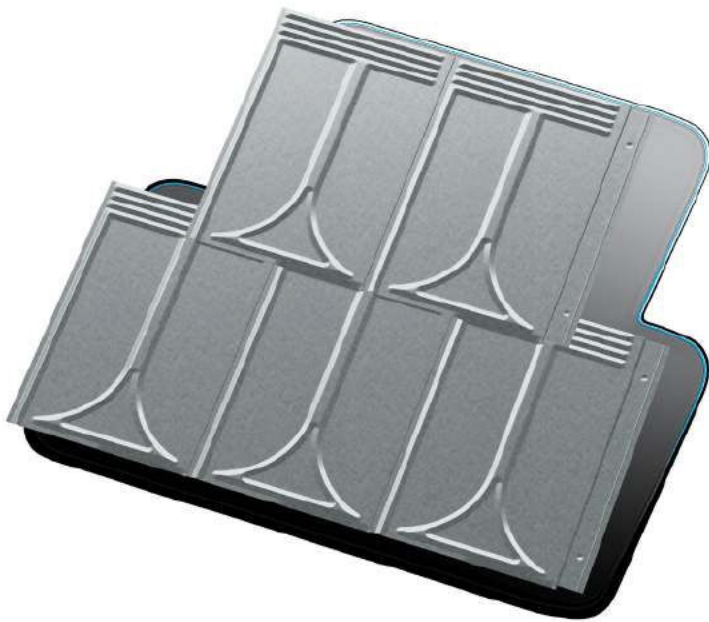
Signature of Notary Public - State of Florida

Print, type or Stamp Commissioned Name



I certify that the foregoing is a true and accurate copy of the document as reflected in the Official Records. Portions may be redacted as required by law.
GARY J. COONEY, Clerk of the Circuit Court and Comptroller, Lake County, Florida

VICTORIAN AND CLASSIC SHINGLES INSTALLATION DETAILS



**BERRIDGE
MANUFACTURING
COMPANY**

800-669-0009 • www.Berridge.com

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**BERRIDGE
MANUFACTURING
COMPANY**

INDEX

Victorian or Classic Shingles

DATE: 05-02-02

PAGE/FILE
VC-0

- A. BERRIDGE VICTORIAN AND CLASSIC SHINGLE:
BERRIDGE VICTORIAN AND CLASSIC SHINGLES HAVE AN EXPOSURE OF 9" x 12".
- B. MINIMUM SLOPE: THE VICTORIAN AND CLASSIC SHINGLES ARE RECOMMENDED FOR SLOPES OF 3:12 OR GREATER.
- C. MATERIAL STORAGE: CAUTION MUST BE EXERCISED IN STORAGE OF MATERIALS PRIOR TO INSTALLATION. KEEP ALL BERRIDGE PREFINISHED MATERIAL IN A DRY LOCATION WITH ADEQUATE VENTILATION AND OUT OF DIRECT SUNLIGHT.

EXPOSURE TO DIRECT SUNLIGHT AND/OR MOISTURE MAY CAUSE THE FACTORY APPLIED STRIPPABLE PLASTIC FILM TO ADHERE TO THE METAL PERMANENTLY AND DISCOLOR THE FINISH.

- D. STRIPPABLE FILM: THE STRIPPABLE PLASTIC FILM WHICH IS APPLIED OVER MOST BERRIDGE PREFINISHED PRODUCTS, PANELS, FLASHINGS, COILS AND FLAT SHEETS PROTECTS THE FINISH DURING FABRICATION AND TRANSIT. THIS FILM MUST BE REMOVED PRIOR TO INSTALLATION.
- E. SOLID SHEATHING REQUIREMENTS: BERRIDGE MANUFACTURING COMPANY RECOMMENDS THE USES OF A MINIMUM OF 1/2" SOLID WOOD SHEATHING TO PROVIDE SUFFICIENT HOLDING POWER FOR FASTENERS. CONTACT BERRIDGE MANUFACTURING'S ENGINEERING DEPARTMENT FOR USE OF ANY OTHER TYPE OF SOLID SHEATHING.
- F. SHEATHING INSPECTION:
 - 1. SHEATHING END JOINTS SHOULD BE STAGGERED.
 - 2. ALL END JOINTS SHOULD MEET AT EITHER A JOIST OR RAFTER.
 - 3. BLOCKING OR "H" CLIPS SHOULD BE USED ON PLYWOOD IF JOINTS DO NOT REMAIN FLAT UNDER THE WEIGHT OF WORKMEN.
 - 4. USE SHIMS TO KEEP ENTIRE SUBSTRATE EVEN. SUBSTRATE SHOULD BE LEVEL TO 1/4" IN 20'-0".
 - 5. ALL CUTS AT PENETRATIONS SHOULD BE TIGHT, WITHOUT GAPS.
 - 6. USE WOOD FRAMED CRICKETS AT LARGE PENETRATIONS.
 - 7. MAKE SURE SUBSTRATE JOINTS ARE TIGHT AT ALL HIPS, VALLEYS AND RIDGES.
- G. FASCIA/RAKE INSPECTION:
 - 1. STRIKE A LINE THE FULL LENGTH OF THE FASCIA OR RAKE. IF NOT STRAIGHT, CORRECT WITH SHIMS.
 - 2. MAKE SURE FASCIA/RAKE IS FLUSH WITH ROOF SUBSTRATE SHEATHING.
- H. UNDERLAYMENT: MINIMUM #30 FELT OR BERRIDGE APPROVED 40 MIL MINIMUM, HIGH TEMPERATURE PEEL & STICK UNDERLAYMENT MUST BE APPLIED OVER SOLID SHEATHING AS SHOWN IN THE BERRIDGE MANUFACTURING COMPANY TYPICAL VICTORIAN & CLASSIC SHINGLE INSTALLATION DETAILS. THE USE OF ADDITIONAL LAYERS OF UNDERLAYMENT IS REQUIRED ON LOW-SLOPED ROOFS, AT ALL VALLEY CONDITIONS, AT ROOF PENETRATIONS, AND CERTAIN OTHER FLASHING CONDITIONS AS DEPICTED THROUGHOUT THE TYPICAL DETAILS. BERRIDGE APPROVED PEEL AND STICK UNDERLAYMENT MAY BE REQUIRED ON LOW SLOPED ROOFS OR AT CERTAIN FLASHING CONDITIONS. BOTH UNDERLAYMENT INSTALLATION DETAILS AND APPROVED UNDERLAYMENTS AND SEALANTS LIST CAN BE FOUND ON BERRIDGE'S WEBSITE: WWW.BERRIDGE.COM

APPROVED UNDERLAYMENTS AND SEALANTS

UNDERLAYMENT INSTALLATION DETAILS



**Berridge
Manufacturing
Company**

INSTALLATION INSTRUCTIONS

VICTORIAN OR CLASSIC SHINGLES

DATE: 6/14/22

PAGE\FILE

VCI-1

I. FELTING INSTALLATION:

1. DO NOT USE RED ROSIN PAPER UNDER METAL ROOFING PANELS.
2. SWEEP ROOF AREA CLEAN.
3. USE FLAT HEAD GALVANIZED ROOFING NAILS X 1-1/4" LONG WITH BERRIDGE GALVANIZED FELT CAPS.
4. INSTALL VALLEY FELT FIRST.
5. INSTALL FELT PARALLEL TO EAVE (2 LAYERS REQUIRED AT EAVE), STARTING AT EAVE AND USING MINIMUM 6" LAPS. USE TWO LAYERS OF FELT ON ENTIRE ROOF DECK IF ROOF SLOPE IS 3:12. 2 LAYERS REQUIRED AT EAVE REGARDLESS OF SLOPE.
6. INSULATE BETWEEN WOOD BLOCKING AND METAL WITH FELT OR ICE AND WATER SHIELD.

J. ELECTROLYSIS: AVOID ALLOWING FLASHING AND PANELS TO COME INTO CONTACT WITH EITHER LEAD OR COPPER, AND PREVENT EXPOSURE TO WATER RUNDOWN FROM COPPER AND/OR LEAD.

K. FLASHING: IF BERRIDGE MANUFACTURING COMPANY IS TO SUPPLY FLASHING, ALL FLASHINGS WILL BE FABRICATED IN 10'-0" LENGTHS WITH SQUARE END CUTS ONLY. THE PURCHASER MUST PROVIDE ALL DIMENSIONS AND DEGREE OF ANGLES.

L. FLASHING INSTALLATION:

1. REMOVE STRIPPABLE PLASTIC FILM FROM ALL FLASHINGS PRIOR TO INSTALLATION.
2. ALWAYS STAGGER JOINTS WHEN ONE FLASHING IS INSTALLED OVER OTHER FLASHINGS.
3. INSTALL ALL FLASHINGS AS PER BERRIDGE TYPICAL DETAILS.
4. ALL FLASHINGS ARE TO BE DESIGNED AND INSTALLED TO NOT TRAP WATER.

NOTE: WHEN USING POP RIVETS ON FLASHING, STAINLESS STEEL RIVETS ARE RECOMMENDED TO AVOID RUST STAINS. USE #12 PANCAKE HEAD ZINC PLATED FASTENERS FOR FLASHING INSTALLATION. MAKE SURE ALL FASTENERS ARE DRIVEN STRAIGHT AND SET FLAT. DO NOT OVERDRIVE FASTENERS AS THIS WILL CAUSE THE FLASHINGS TO BUCKLE OR BECOME RECESSED BELOW THE ELEVATION OF THE SUBSTRATE.

M. SHINGLE INSTALLATION:

1. REMOVE STRIPPABLE PLASTIC FILM FROM EACH SHINGLE PRIOR TO INSTALLATION.
2. START AT LOWER LEFT EAVE CORNER AND STAGGER AS SHOWN ON DETAIL VS-5 & CS-5.
3. USE CHALK LINES TO KEEP SHINGLES STRAIGHT.
4. SHINGLES INTERLOCK AT SIDE LAP AND OVERLAP FROM COURSE TO COURSE.
5. WHEN SHINGLES REACH THE VALLEY OR HIP TRIM THE SHINGLES SO THAT THEY FIT TIGHT INTO J-CLIPS.
6. TRIM SHINGLES AS NECESSARY AT THE RIDGE SO THAT THE BOTTOM EDGE OF THE SHINGLE FOLLOWS THE PATTERN OF THE OTHER SHINGLES AND THE TOP OF THE SHINGLE FITS TIGHT IN THE J-CLIP.



INSTALLATION INSTRUCTIONS

VICTORIAN OR CLASSIC SHINGLES

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VCI-2

N. FASTENERS: INSTALL FASTENERS AS PER TYPICAL DETAILS. USE LOAD CHARTS LOCATED UNDER THE "DOWNLOADS" TAB ON WWW.BERRIDGE.COM FOR FASTENER RECOMMENDATIONS ACCORDING TO SUBSTRATE.**

VICTORIAN & CLASSIC SHINGLES LOAD CHART

MAKE SURE ALL FASTENERS ARE DRIVEN STRAIGHT AND SET FLAT. DO NOT OVERDRIVE FASTENERS AS THIS WILL CAUSE THE CLIP AND/OR FLASHINGS TO BUCKLE OR BECOME RECESSED BELOW THE ELEVATION OF THE SUBSTRATE.

**CONSULT BERRIDGE MANUFACTURING'S ENGINEERING DEPARTMENT REGARDING THE USE OF ANY OTHER TYPE OF FASTENER.

O. SEALANT REQUIREMENTS: FOR A FULL LIST OF APPROVED SEALANTS VISIT: WWW.BERRIDGE.COM

APPROVED UNDERLAYMENTS AND SEALANTS

BERRIDGE MANUFACTURING COMPANY STRIVES TO PROVIDE ITS CUSTOMERS WITH THE HIGHEST QUALITY STRETCHER LEVELED STEEL AVAILABLE. THE LATEST TECHNOLOGY IS ALSO INCORPORATED IN BERRIDGE'S HIGH-PRECISION COIL HANDLING AND ROLL FORMING EQUIPMENT TO MINIMIZE THE STRESS ON METAL DURING PRODUCTION. ALL THESE MEASURES HAVE BEEN TAKEN TO MINIMIZE THE AMOUNT OF "OIL-CANNING" (WAVINESS) WHICH IS NATURALLY INHERENT IN FLAT SHEET METAL. MANY TIMES; HOWEVER, THE CAUSE OF WAVINESS OR "OIL-CANNING" CAN BE TRACED TO UNEVEN SHEATHING, IMPROPER UNDERLAYMENT INSTALLATION, OR FOOT TRAFFIC ON THE PANELS.

ALL ARCHITECTURAL PANELS REQUIRE CARE IN HANDLING AND INSTALLATION TO AVOID DAMAGING OR DEFORMING THE PANELS.

THESE INSTALLATION INSTRUCTIONS AND THE FOLLOWING TYPICAL DETAILS ARE INTENDED TO PROVIDE OUR CUSTOMERS WITH THE INFORMATION REQUIRED FOR AN AESTHETICALLY PLEASING AND FUNCTIONAL INSTALLATION OF THE BERRIDGE VICTORIAN OR CLASSIC SHINGLES.

NOTE: ALL PRODUCT SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS SUBJECT TO CHANGE WITHOUT NOTICE. FOR SPECIFIC PROJECT DETAILS, CONTACT BERRIDGE.



**INSTALLATION
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VICTORIAN OR CLASSIC SHINGLES

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THE DETAILS CONTAINED IN THE FOLLOWING PAGES ARE MERELY RECOMMENDATIONS AS TO HOW BERRIDGE MANUFACTURING MATERIALS SHOULD BE INSTALLED. THEY MAY REQUIRE ADAPTATIONS OR MODIFICATIONS FOR A SPECIFIC PROJECT AS CONDITIONS VARY IN BOTH BUILDING DESIGN AND LOCAL WEATHER PECULIARITIES.

BERRIDGE MANUFACTURING COMPANY SHALL BE HELD HARMLESS FROM ANY AND ALL CLAIMS ARISING FROM LACK OF WATERTIGHTNESS AS A RESULT OF FOLLOWING THESE RECOMMENDED DETAILS. ENSURING THE WATERTIGHTNESS ON ANY GIVEN PROJECT IS THE FUNCTION OF THE INSTALLER. THE ARCHITECT/GENERAL CONTRACTOR/INSTALLER MUST ACCEPT THE RESPONSIBILITY TO ADAPT THESE DETAILS TO MEET PARTICULAR BUILDING REQUIREMENTS AND TO ASSURE ADEQUATE WATERTIGHTNESS.

THE INSTALLER CAN VIRTUALLY ASSURE WATERTIGHTNESS IF THESE FLASHING DETAILS HAVE BEEN PROPERLY ADAPTED, ADEQUATE LAPS HAVE BEEN PROVIDED, CORRECT TYPE OF SEALANT USED, ALL JOINT ADEQUATELY CAULKED, AND PROFESSIONAL WORKMANSHIP EMPLOYED.



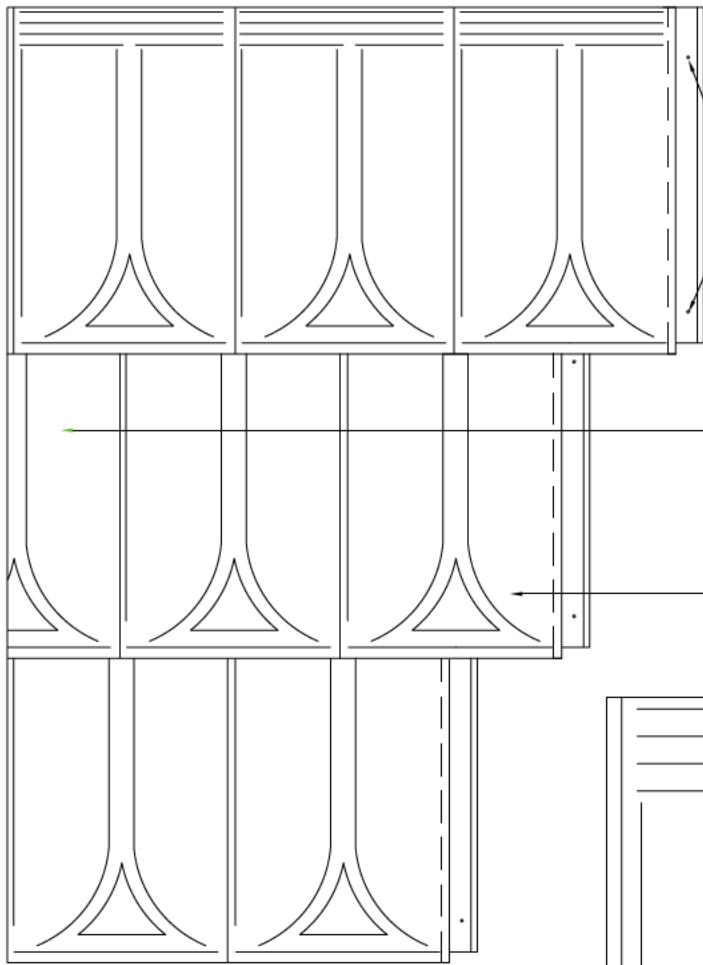
**BERRIDGE
MANUFACTURING
COMPANY**

INTRODUCTION TO TYPICAL DETAILS

Victorian or Classic Shingles

DATE: 05-02-02

PAGE/FILE
VC-2



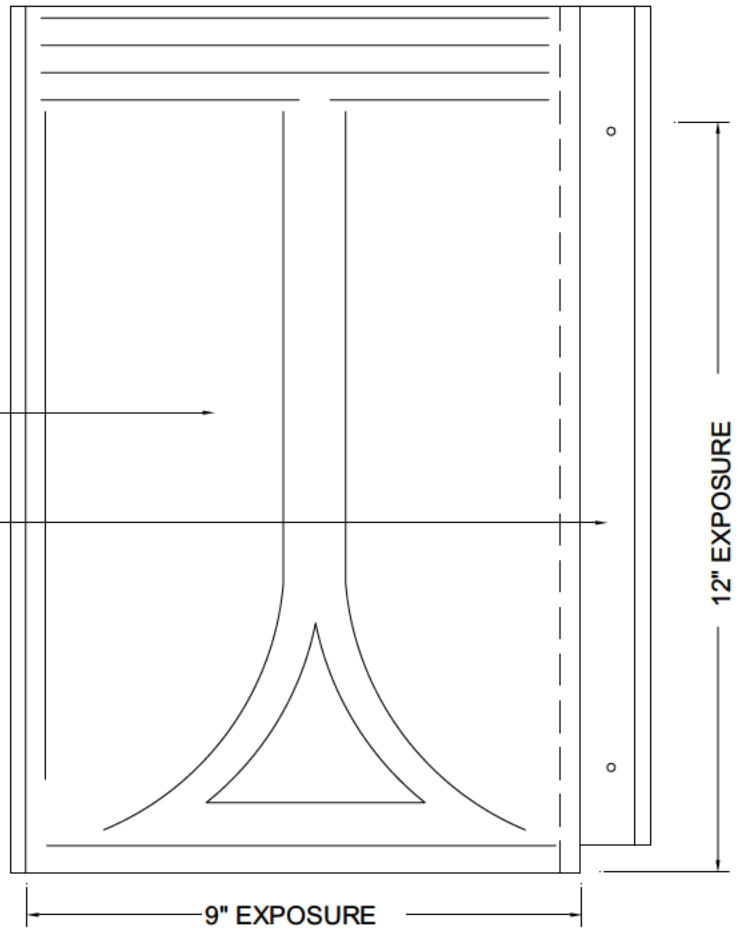
MINIMUM 2 FASTENERS
AT LOCK SEAM

FIELD CUT 1/2 SHINGLE
TO CREATE STAGGERED
PATTERN

BERRIDGE VICTORIAN SHINGLES

BERRIDGE VICTORIAN SHINGLE

LOCK SEAM



9" EXPOSURE

12" EXPOSURE



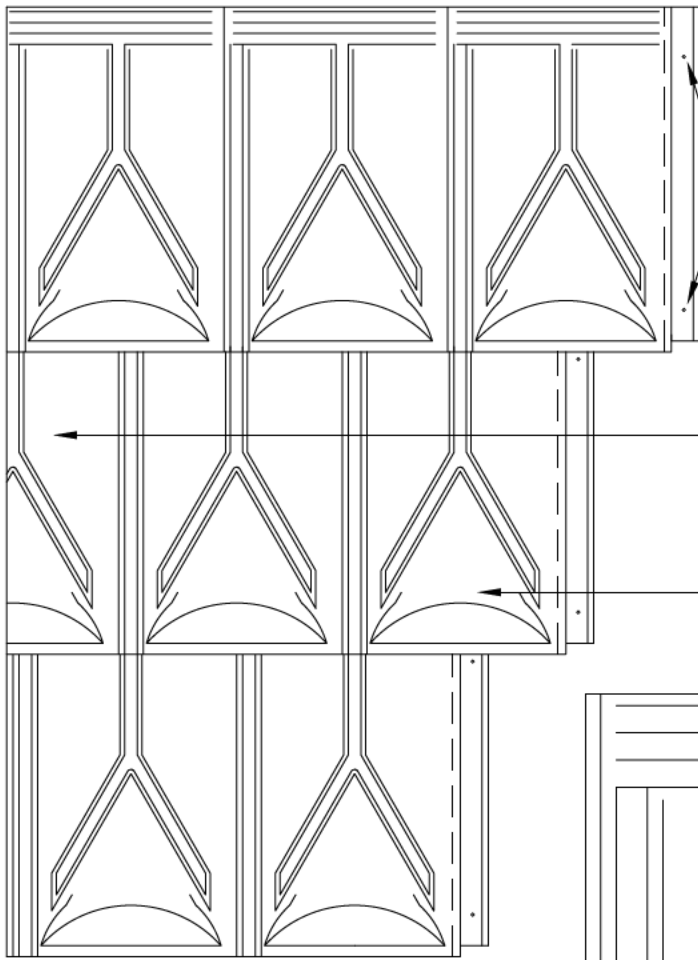
BERRIDGE
MANUFACTURING
COMPANY

OVERVIEW

Victorian Shingle

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VS-5



MINIMUM 2 FASTENERS
AT LOCK SEAM

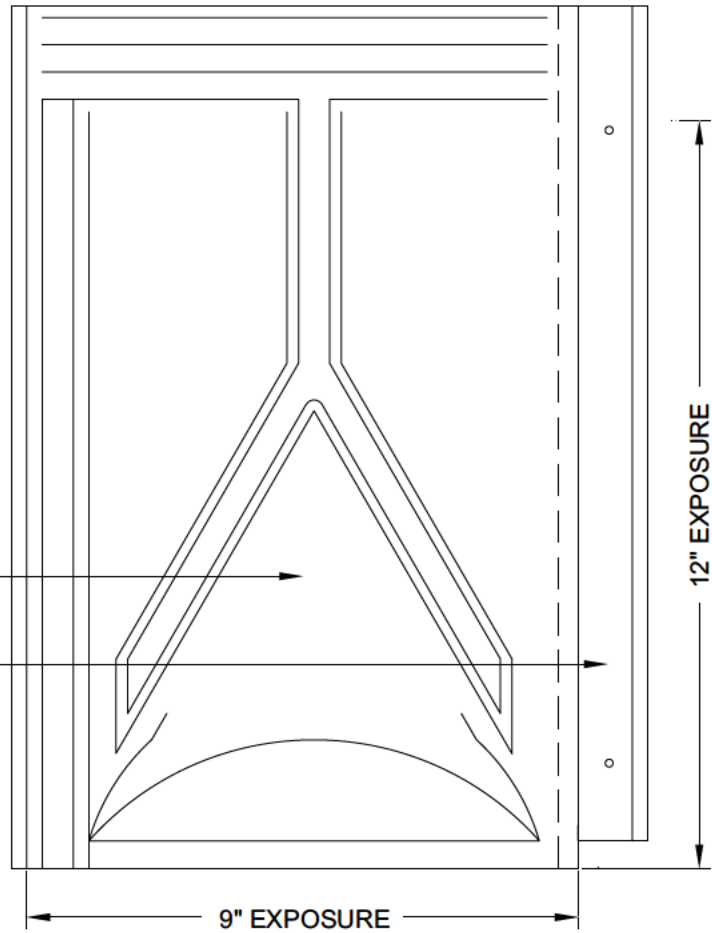
FIELD CUT 1/2 SHINGLE
TO CREATE STAGGERED
PATTERN

BERRIDGE CLASSIC SHINGLES

START AT EAVE, WORK
FROM LEFT TO RIGHT

BERRIDGE CLASSIC SHINGLE

LOCK SEAM



12" EXPOSURE

9" EXPOSURE



BERRIDGE
MANUFACTURING
COMPANY

OVERVIEW

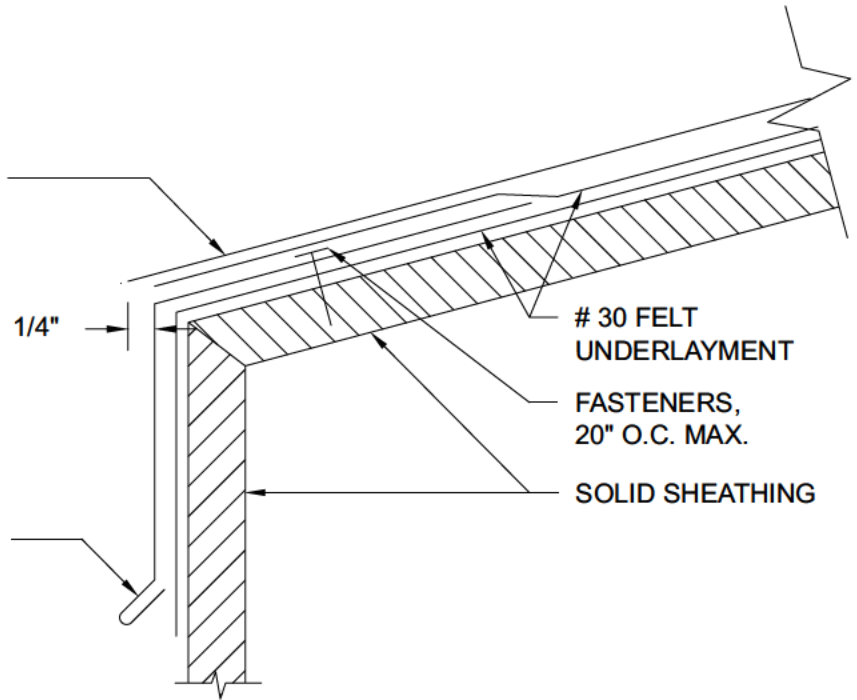
Classic Shingle

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PAGE/FILE
CS-5

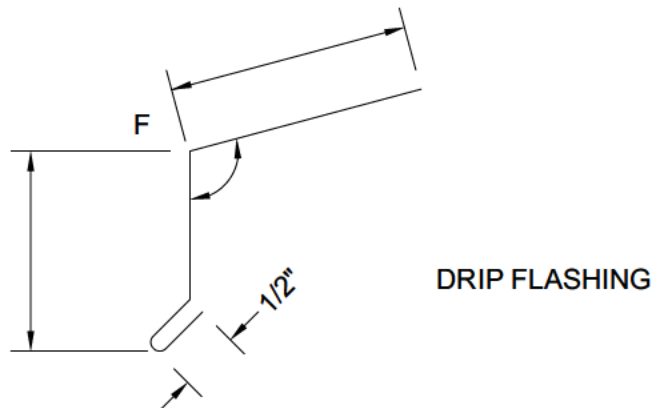
BERRIDGE VICTORIAN OR CLASSIC SHINGLE

DRIP FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS



1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.
2. ALL FELT UNDERLAYMENT, CAULKING AND FASTENERS ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.

F = FINISH SIDE



**BERRIDGE
MANUFACTURING
COMPANY**

EAVE DETAIL

Victorian or Classic Shingles

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VC-10

RIDGE/HIP CAP; 4" END LAPS WITH
CONTINUOUS CAULK AT LAPS.
POP RIVET TO J-CLIP
20" O.C. MAX. CAULK RIVET HEADS

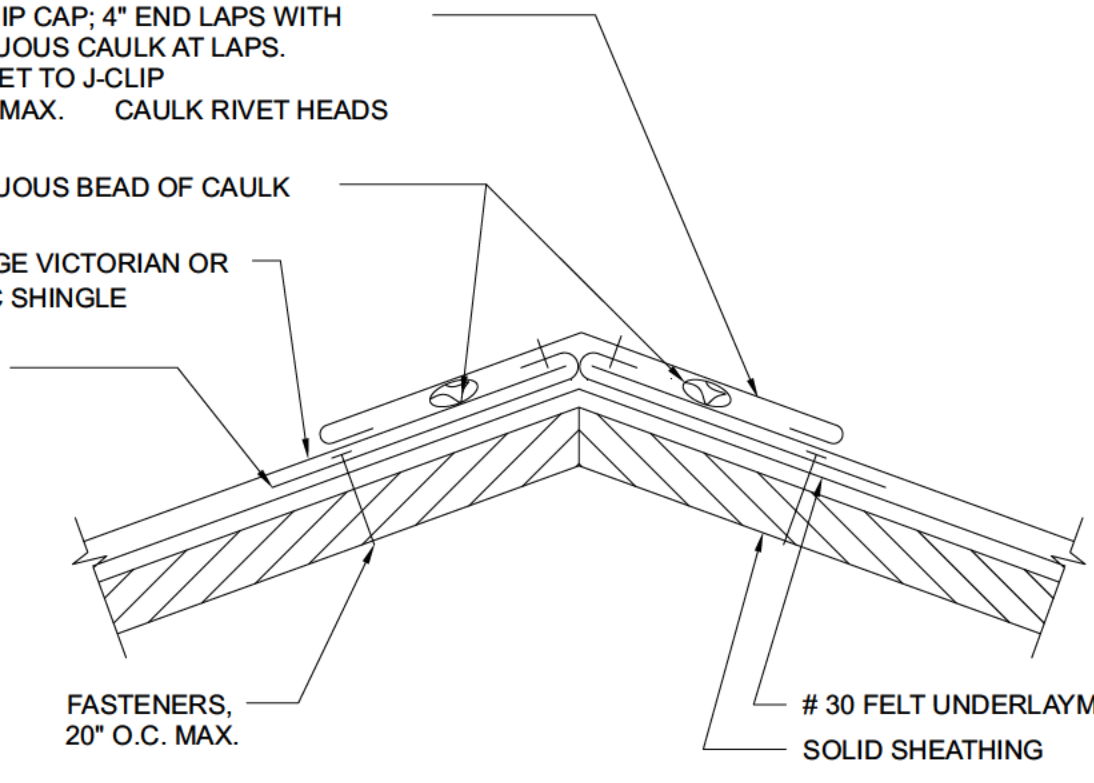
CONTINUOUS BEAD OF CAULK

BERRIDGE VICTORIAN OR
CLASSIC SHINGLE

J-CLIP

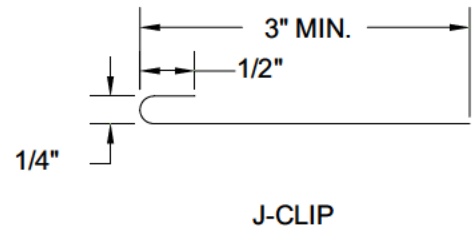
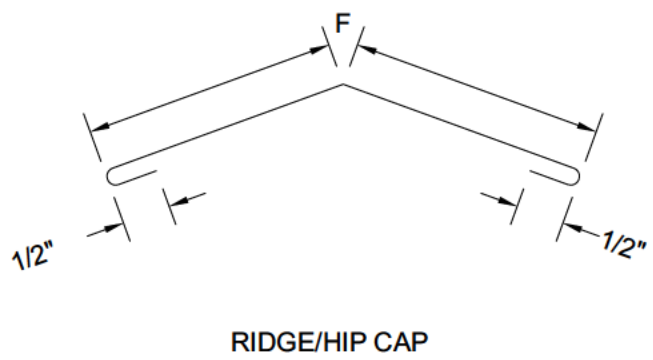
FASTENERS,
20" O.C. MAX.

30 FELT UNDERLAYMENT
SOLID SHEATHING



1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.
2. ALL FELTING UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.

F = FINISH SIDE



BERRIDGE
MANUFACTURING
COMPANY

Roofs of Distinction

RIDGE AND HIP DETAIL

Victorian or Classic Shingles

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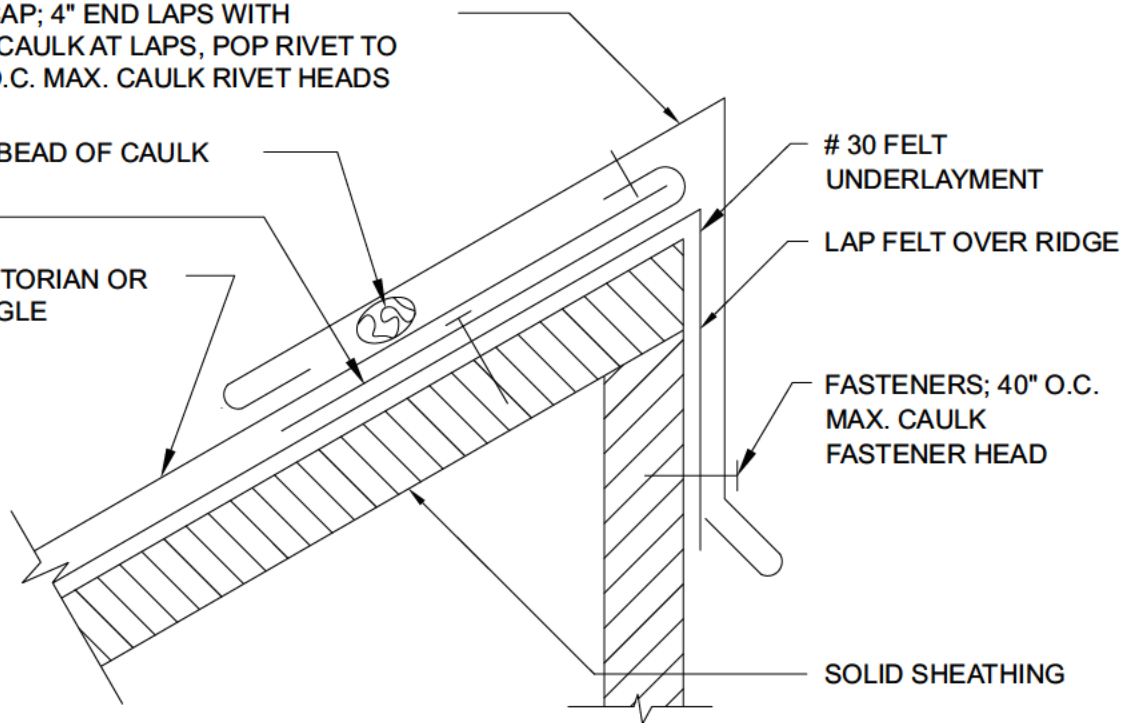
PAGE/FILE
VC-20

SHED RIDGE CAP; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS, POP RIVET TO J-CLIP AT 20" O.C. MAX. CAULK RIVET HEADS

CONTINUOUS BEAD OF CAULK

J-CLIP

BERRIDGE VICTORIAN OR CLASSIC SHINGLE



30 FELT UNDERLAYMENT

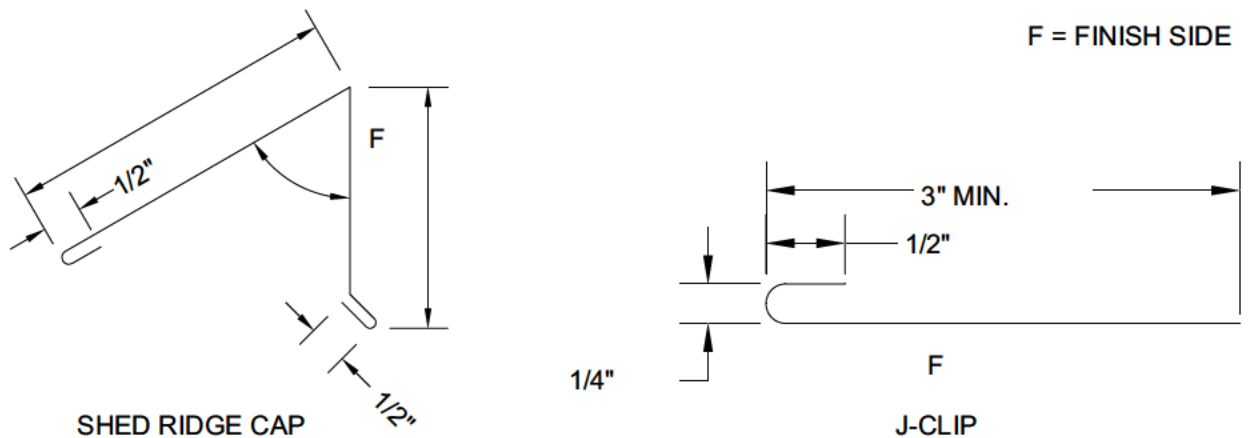
LAP FELT OVER RIDGE

FASTENERS; 40" O.C. MAX. CAULK FASTENER HEAD

SOLID SHEATHING

1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.

2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.



F = FINISH SIDE

SHED RIDGE CAP

1/4"

J-CLIP



BERRIDGE
MANUFACTURING
COMPANY

SHED ROOF RIDGE CAP DETAIL

Victorian or Classic Shingles

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SECTION VIEW

FIELD FORM END OF RIDGE FLASHING AND EXTEND UNDER J-CLIP

RIDGE FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

VC-20

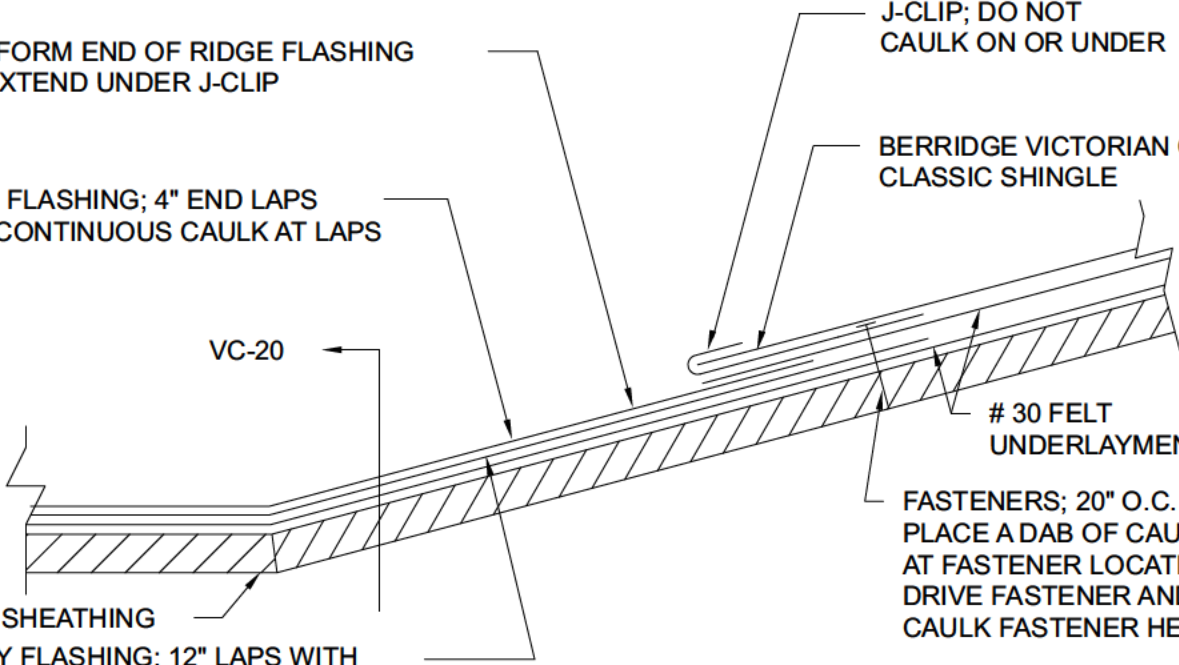
SOLID SHEATHING
VALLEY FLASHING; 12" LAPS WITH CONTINUOUS CAULK AT LAPS

J-CLIP; DO NOT CAULK ON OR UNDER

BERRIDGE VICTORIAN OR CLASSIC SHINGLE

30 FELT UNDERLAYMENT

FASTENERS; 20" O.C. MAX. PLACE A DAB OF CAULK AT FASTENER LOCATION DRIVE FASTENER AND CAULK FASTENER HEAD



PLAN VIEW

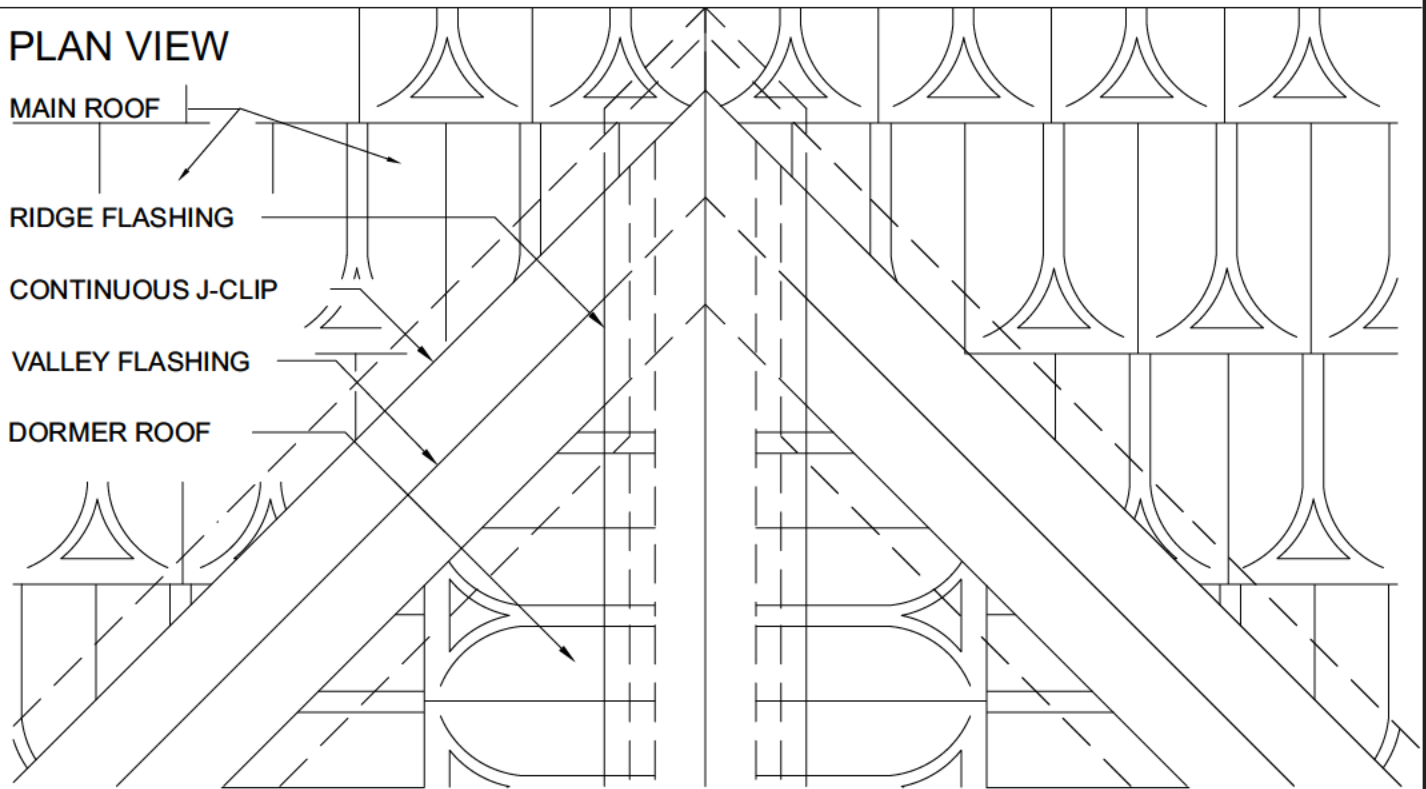
MAIN ROOF

RIDGE FLASHING

CONTINUOUS J-CLIP

VALLEY FLASHING

DORMER ROOF



BERRIDGE
MANUFACTURING
COMPANY

Roofs of Distinction

**RIDGE TERMINATION AT
DORMER VALLEY**

Victorian or Classic Shingles

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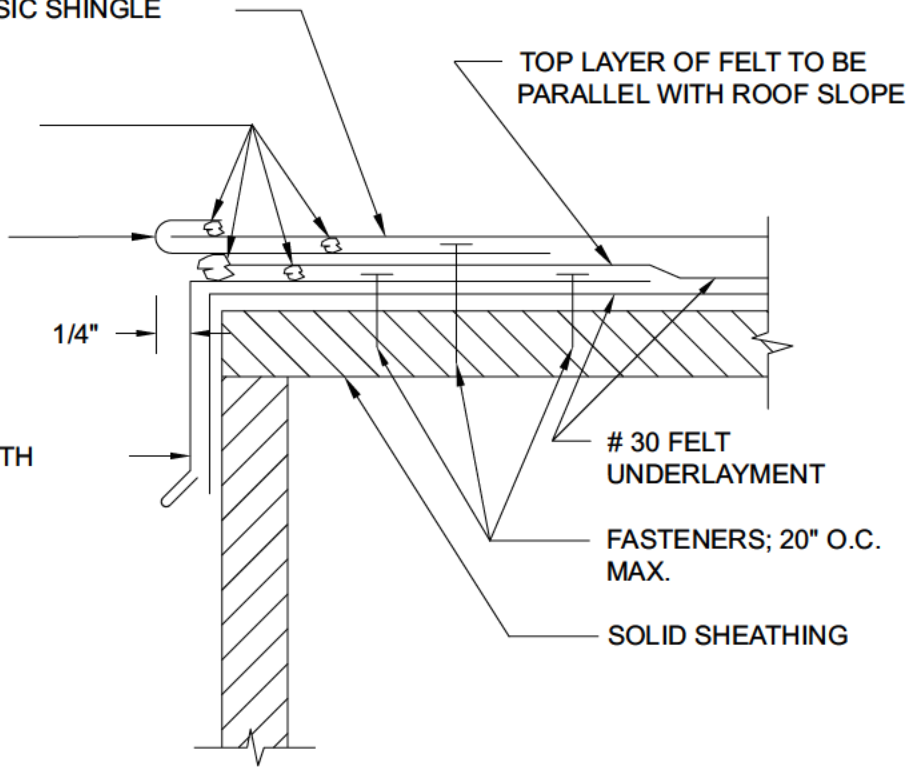
PAGE/FILE
VC-22

BERRIDGE VICTORIAN OR CLASSIC SHINGLE

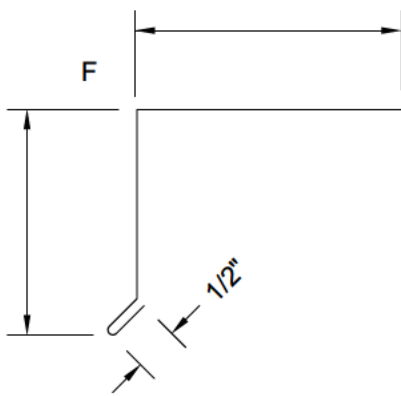
CONTINUOUS BEAD OF CAULK

J-CLIP; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

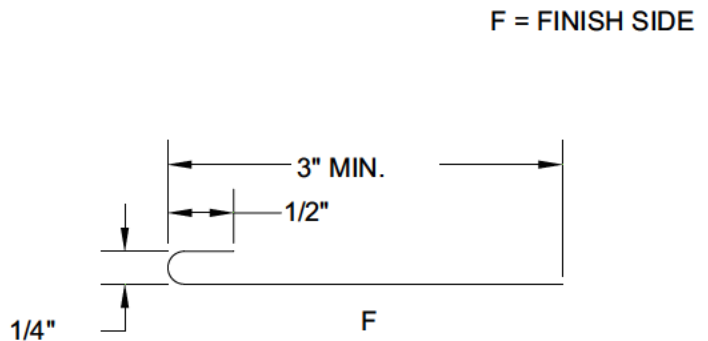
DRIP FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS



1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.
2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.



DRIP FLASHING



BERRIDGE
MANUFACTURING
COMPANY

GABLE DETAIL

Victorian or Classic Shingles

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CAP FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS. POP RIVET TO COUNTER FLASHING 40" O.C. MAX. CAULK ALL RIVET HEADS.

FASTENERS; 20" O.C. MAX.

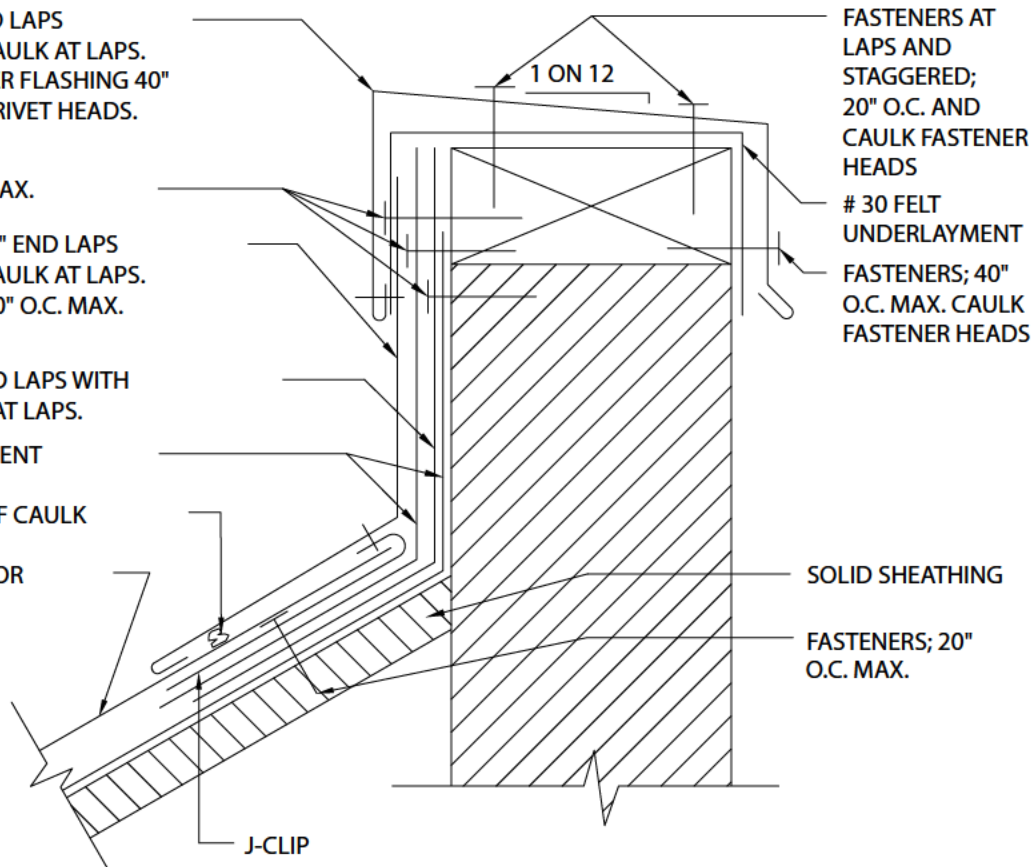
COUNTERFLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS. POP RIVET TO J-CLIP 40" O.C. MAX. CAULK RIVET HEADS

SUB-FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS.

30 FELT UNDERLAYMENT

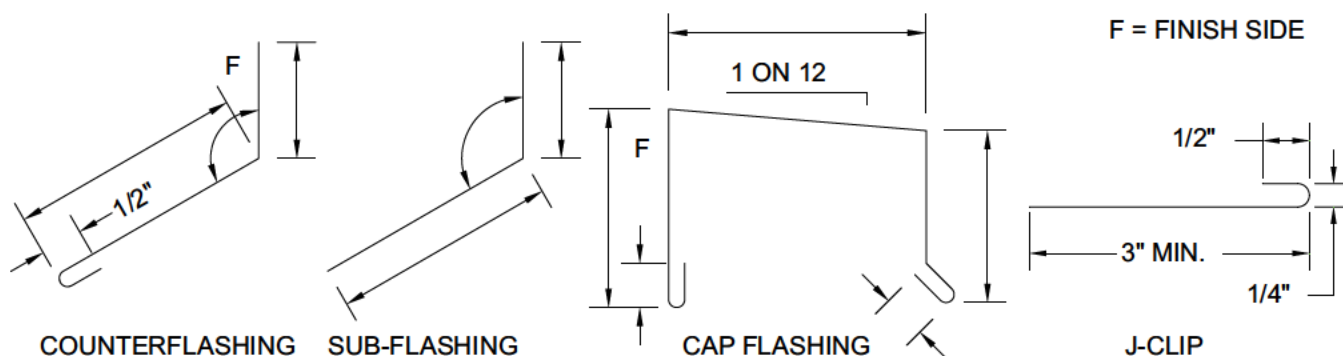
CONTINUOUS BEAD OF CAULK

BERRIDGE VICTORIAN OR CLASSIC SHINGLE



1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.

2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.



BERRIDGE
MANUFACTURING
COMPANY

Roofs of Distinction

PARAPET DETAIL

Victorian or Classic Shingles

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BERRIDGE FASCIA PANEL

COUNTERFLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS. POP RIVET TO J-CLIP 40" O.C. MAX. CAULK RIVET HEADS

SUB-FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

J-CLIP

CONTINUOUS BEAD OF CAULK

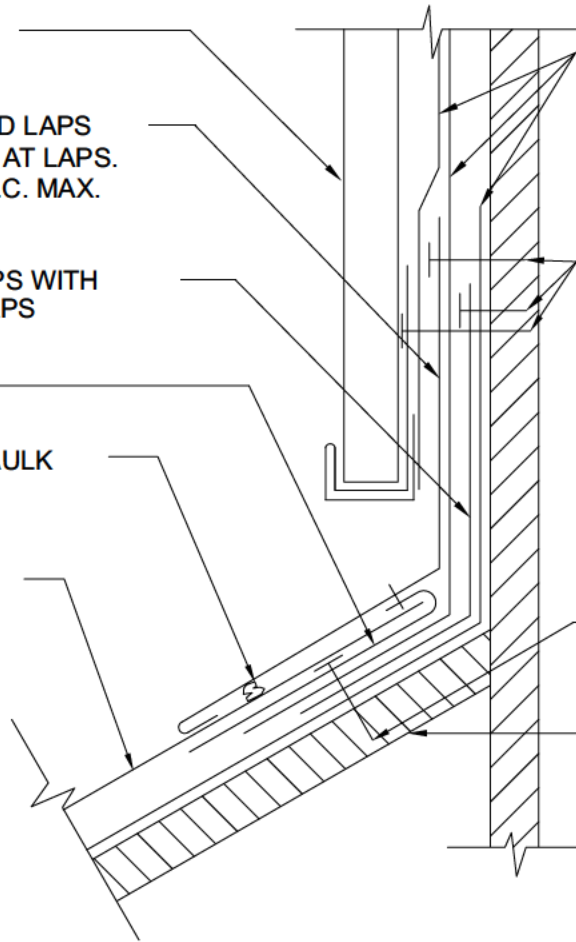
BERRIDGE VICTORIAN OR CLASSIC SHINGLE

30 FELT UNDERLAYMENT

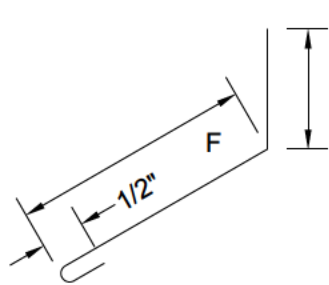
FASTENERS; 20" O.C. MAX.

FASTENERS; 20" O.C. MAX.

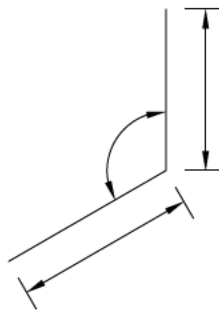
SOLID SHEATHING



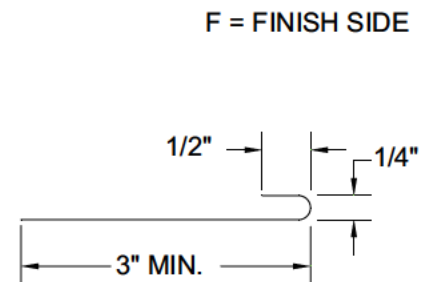
1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.
2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.



COUNTERFLASHING



SUB-FLASHING



J-CLIP



BERRIDGE MANUFACTURING COMPANY

EAVE DETAIL

Victorian or Classic Shingles

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VC-41

REGLET FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

FASTENERS; 20" O.C. MAX.

COUNTERFLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS.
POP RIVET TO J-CLIP 40" O.C. MAX.
CAULK RIVET HEADS

SUB-FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS.

30 FELT UNDERLAYMENT

J-CLIP

CONTINUOUS BEAD OF CAULK

BERRIDGE VICTORIAN OR CLASSIC SHINGLE

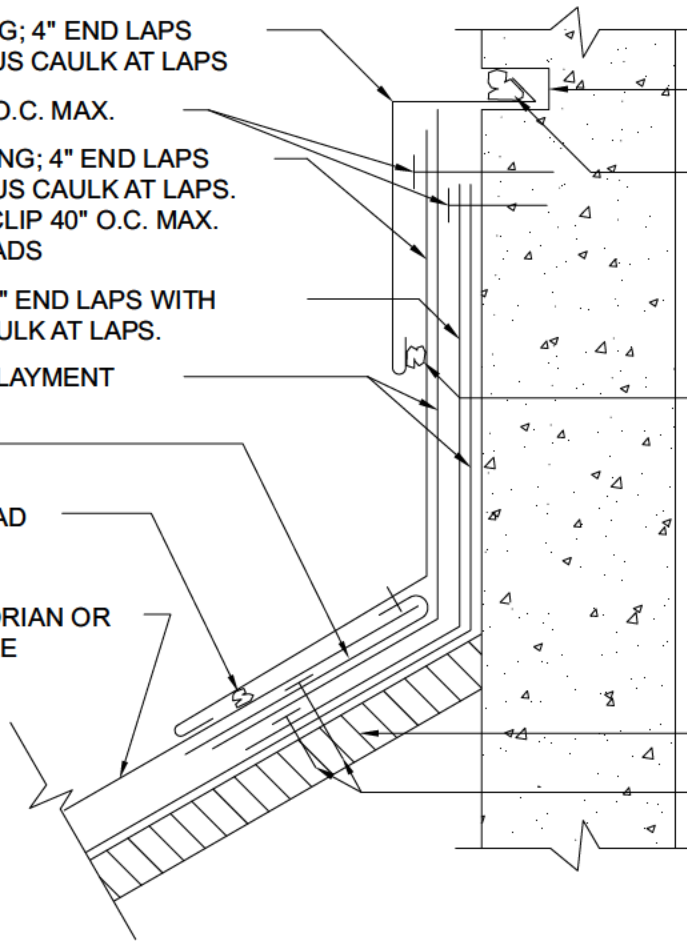
REGLET

CONTINUOUS CAULK AT REGLET

CONTINUOUS BEAD OF CAULK

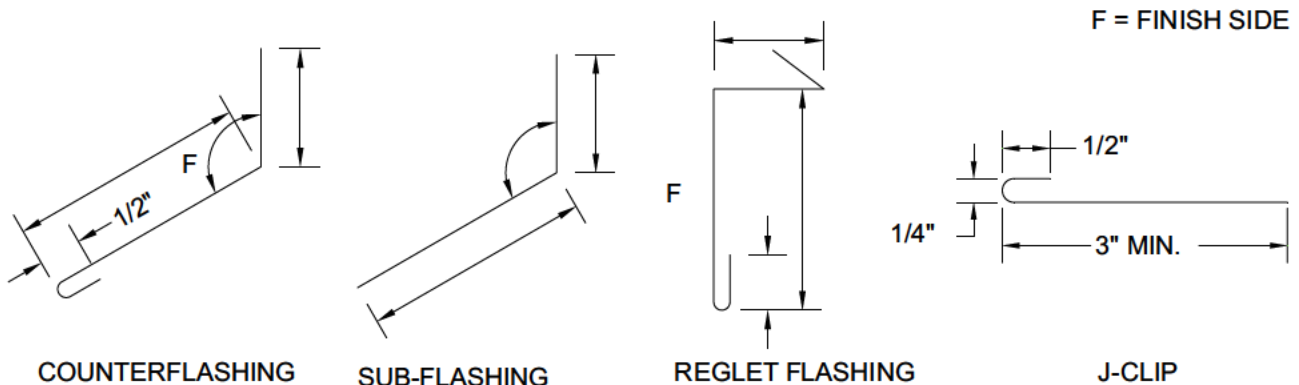
SOLID SHEATHING

FASTENERS; 20" O.C. MAX.



1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.

2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.



BERRIDGE
MANUFACTURING
COMPANY

HEAD WALL DETAIL

Victorian or Classic Shingles

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30 FELT UNDERLAYMENT

BERRIDGE FASCIA PANEL

FASTENERS; 20" O.C. MAX.

FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS
POP RIVET TO J-CLIP 40" O.C. CAULK RIVET HEADS

J-CLIP

CONTINUOUS BEAD OF CAULK

SUB-FLASHING; 4" END LAPS WITH
CONTINUOUS CAULK AT LAPS

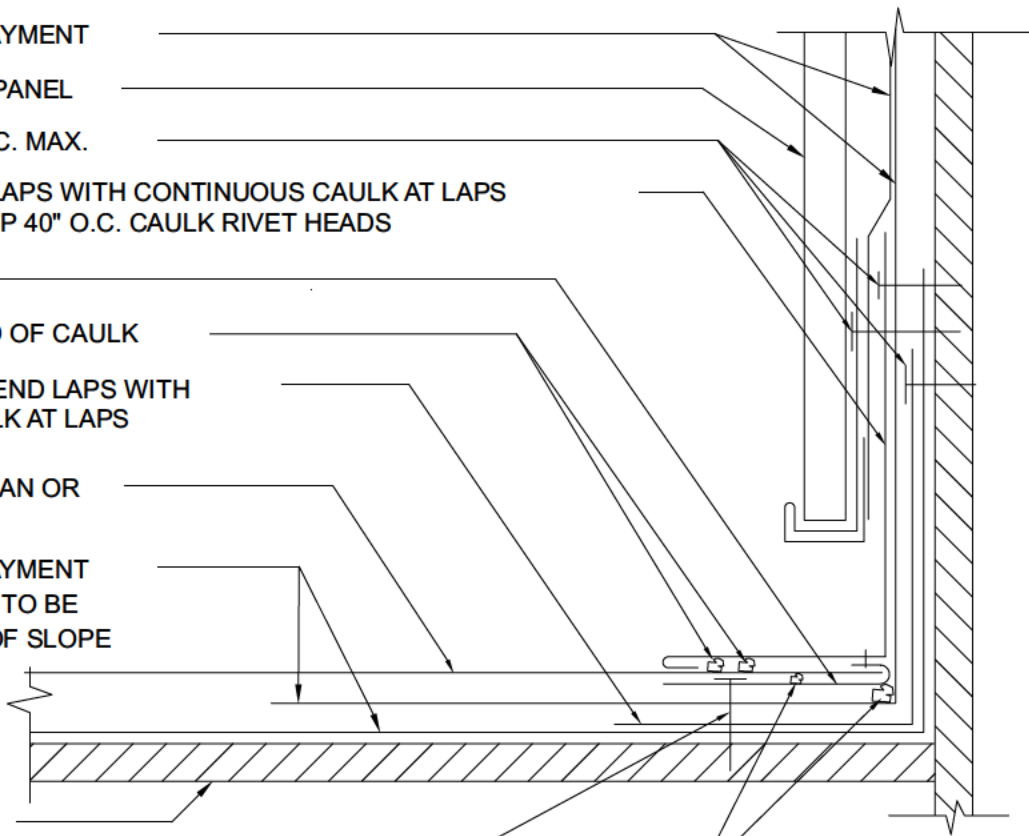
BERRIDGE VICTORIAN OR
CLASSIC SHINGLE

30 FELT UNDERLAYMENT
TOP LAYER OF FELT TO BE
PARALLEL WITH ROOF SLOPE

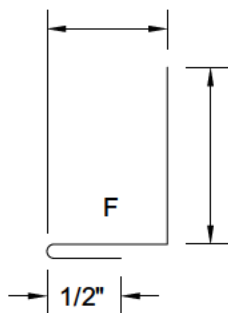
SOLID SHEATHING

FASTENER; 20" O.C. MAX. PLACE A DAB
OF CAULK AT FASTENER LOCATION
DRIVE FASTENER AND CAULK FASTENER HEAD

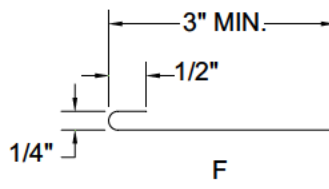
CONTINUOUS BEAD
OF CAULK



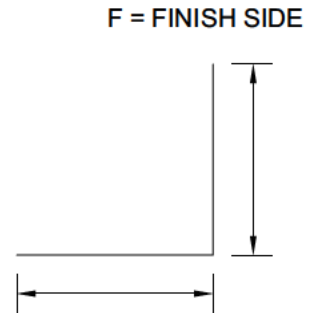
1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.
2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.



FLASHING



J-CLIP



SUB-FLASHING



**BERRIDGE
MANUFACTURING
COMPANY**

RAKE WALL DETAIL

Victorian or Classic Shingles

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REGLET FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

FASTENERS; 20" O.C. MAX.

SUB-FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS
POP RIVET TO J-CLIP 40" O.C.
CAULK RIVET HEADS

CONTINUOUS BEAD OF CAULK
BERRIDGE VICTORIAN OR CLASSIC SHINGLE

SOLID SHEATHING

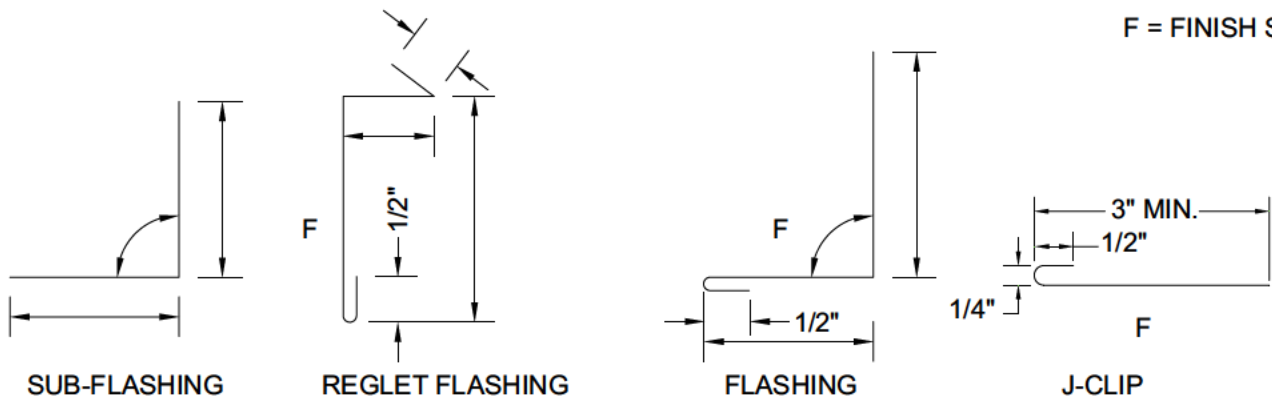
30 FELT UNDERLAYMENT
TOP LAYER OF FELT TO BE PARALLEL WITH ROOF SLOPE

FASTENERS; 20" O.C. MAX. PLACE A DAB OF CAULK AT FASTENER LOCATION
DRIVE FASTENER AND CAULK FASTENER HEAD

REGLET
CONTINUOUS CAULK AT REGLET
CONTINUOUS BEAD OF CAULK
J-CLIP
CONTINUOUS BEAD OF CAULK

1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.
2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.

F = FINISH SIDE



BERRIDGE
MANUFACTURING
COMPANY

RAKE WALL DETAIL

Victorian or Classic Shingles

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BERRIDGE VICTORIAN
OR CLASSIC SHINGLE

TRANSITION FLASHING; 4"
END LAPS WITH CONTINUOUS
CAULK AT LAPS. POP RIVET
TO J-CLIP 40" O.C. MAX.
CAULK RIVET HEAD

CONTINUOUS BEAD OF CAULK

BERRIDGE VICTORIAN
OR CLASSIC SHINGLE

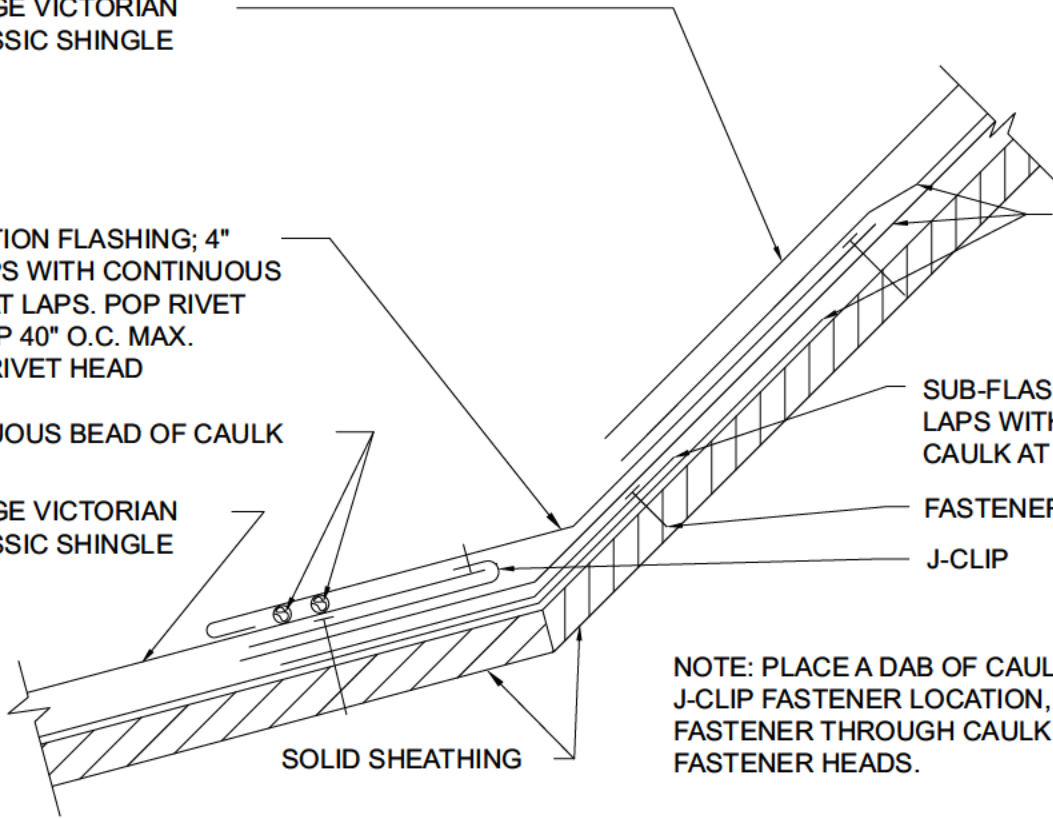
30 FELT
UNDERLAYMENT

SUB-FLASHING; 4" END
LAPS WITH CONTINUOUS
CAULK AT LAPS

FASTENERS; 40" O.C.

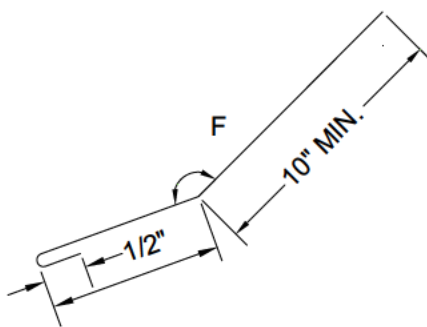
J-CLIP

NOTE: PLACE A DAB OF CAULK AT
J-CLIP FASTENER LOCATION, DRIVE
FASTENER THROUGH CAULK, AND CAULK
FASTENER HEADS.

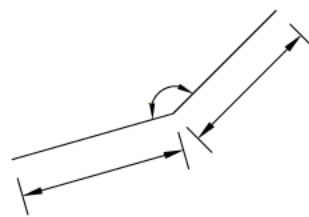


1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.

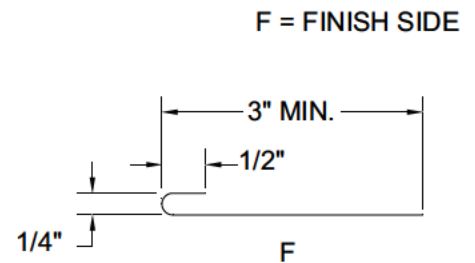
2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.



TRANSITION FLASHING



SUB-FLASHING



J-CLIP



BERRIDGE
MANUFACTURING
COMPANY

SLOPE TRANSITION DETAIL

Victorian or Classic Shingles

DATE: 05-02-02

PAGE/FILE

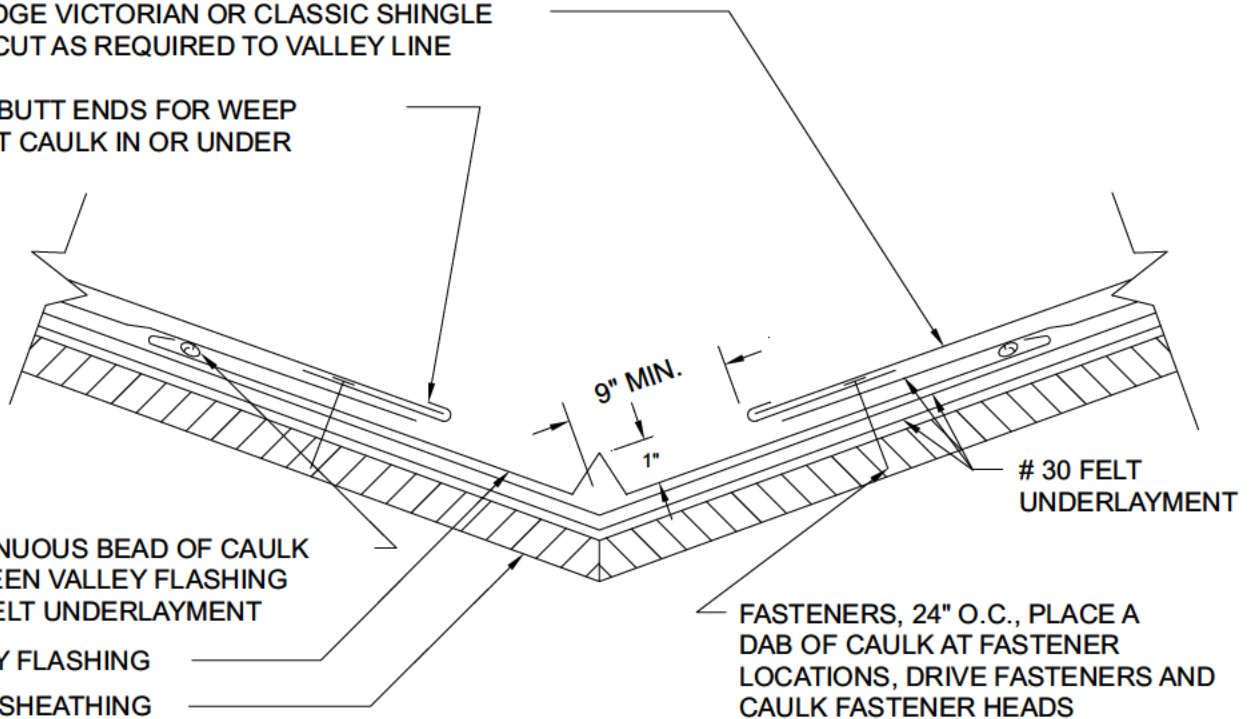
VC-60

BERRIDGE VICTORIAN OR CLASSIC SHINGLE
FIELD CUT AS REQUIRED TO VALLEY LINE

J-CLIP BUTT ENDS FOR WEEP
DO NOT CAULK IN OR UNDER
J-CLIP

CONTINUOUS BEAD OF CAULK
BETWEEN VALLEY FLASHING
AND FELT UNDERLAYMENT

VALLEY FLASHING
SOLID SHEATHING



FASTENERS, 24" O.C., PLACE A
DAB OF CAULK AT FASTENER
LOCATIONS, DRIVE FASTENERS AND
CAULK FASTENER HEADS

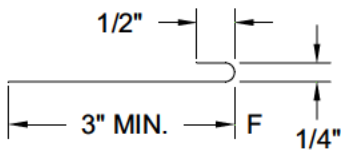
1. SOLID SHEATHING (BY OTHERS) TO BE A MINIMUM OF 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.
2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.

F = FINISH SIDE

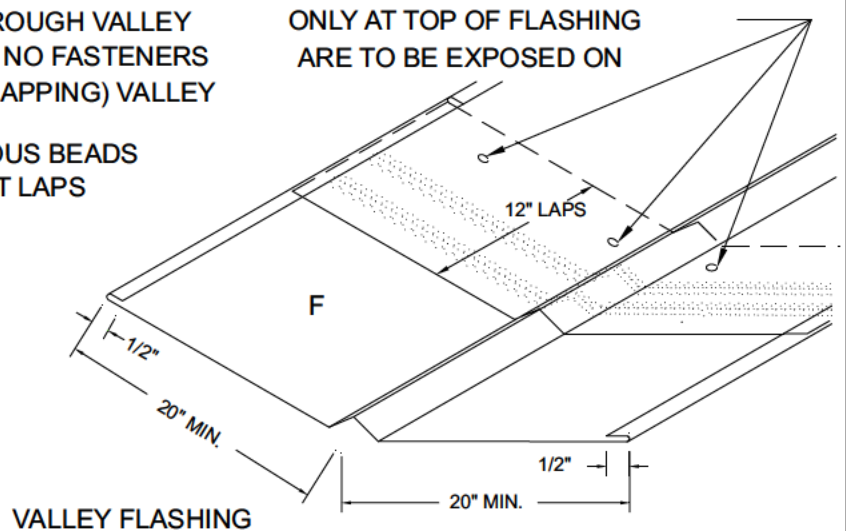
FASTEN THROUGH VALLEY
UNDER LAP, NO FASTENERS
TOP (OVERLAPPING) VALLEY

2 CONTINUOUS BEADS
OF CAULK AT LAPS

ONLY AT TOP OF FLASHING
ARE TO BE EXPOSED ON



J-CLIP



BERRIDGE
MANUFACTURING
COMPANY

Roofs of Distinction

VALLEY DETAIL

Victorian or Classic Shingles

DATE: 05-02-02

PAGE/FILE
VC-70

ROOF PIPE PENETRATION OF
4" IN DIA. OR LESS

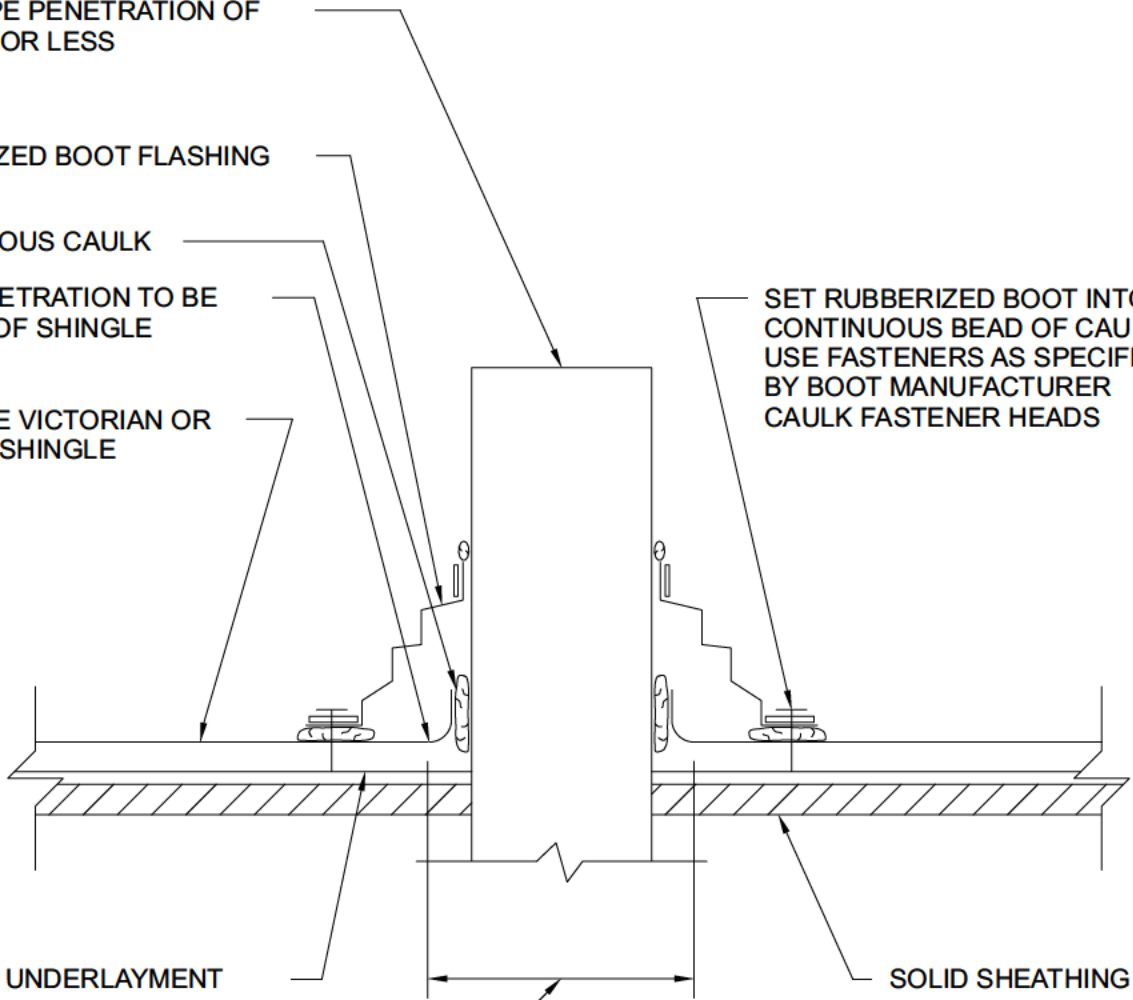
RUBBERIZED BOOT FLASHING

CONTINUOUS CAULK

PIPE PENETRATION TO BE
IN BODY OF SHINGLE

BERRIDGE VICTORIAN OR
CLASSIC SHINGLE

SET RUBBERIZED BOOT INTO
CONTINUOUS BEAD OF CAULK.
USE FASTENERS AS SPECIFIED
BY BOOT MANUFACTURER
CAULK FASTENER HEADS



30 FELT UNDERLAYMENT

SOLID SHEATHING

CUT SHINGLE 1" SMALLER THAN
PENETRATION, BACK CUT TABS,
FOLD TABS UP AROUND
PENETRATION, AND CAULK.

NOTE: IF PIPE IS MADE OF METAL,
IT MUST BE PAINTED TO PREVENT RUST
RUN-OFF FROM STAINING PANELS.

NOTE: POSITION SQUARE BASED BOOTS IN A DIAMOND
ORIENTATION WHERE POSSIBLE TO AID IN DIVERTING WATER.



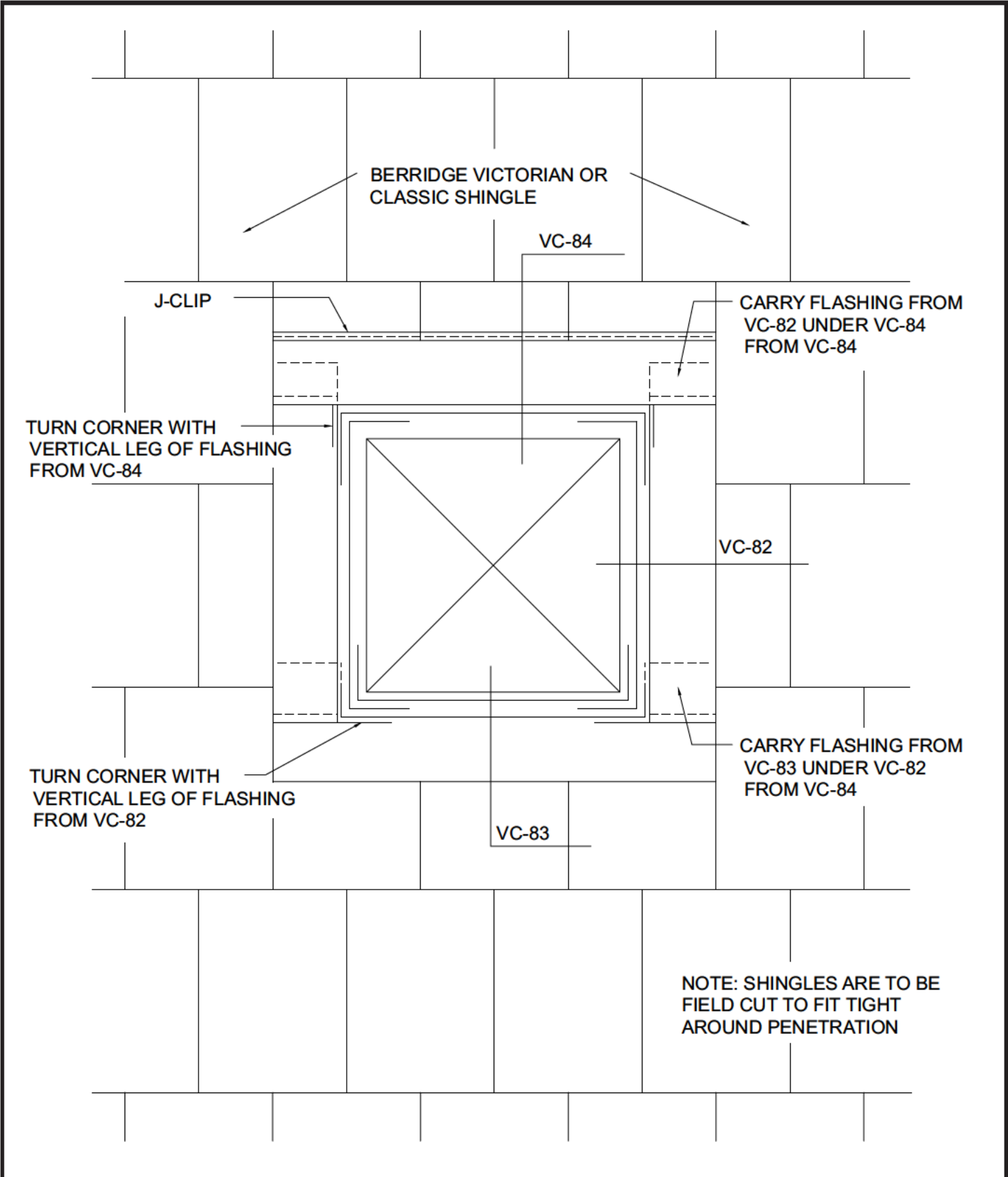
BERRIDGE
MANUFACTURING
COMPANY

**PIPE PENETRATION
4" DIA. OR LESS**

Victorian or Classic Shingles

DATE: 05-02-02

PAGE/FILE
VC-80



BERRIDGE
MANUFACTURING
COMPANY

ROOF PENETRATION
RECTANGULAR/SQUARE

Victorian or Classic Shingles

DATE: 05-02-02

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 VC-81

COUNTER FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

FASTENERS; 20" O.C. MAX.

SUB-FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS
POP RIVET TO J-CLIP 40" O.C. MAX.
CAULK RIVET HEADS

CONTINUOUS BEAD OF CAULK

BERRIDGE VICTORIAN OR CLASSIC SHINGLE

CONTINUOUS BEAD OF CAULK

J-CLIP

CONTINUOUS BEAD OF CAULK

SOLID SHEATHING

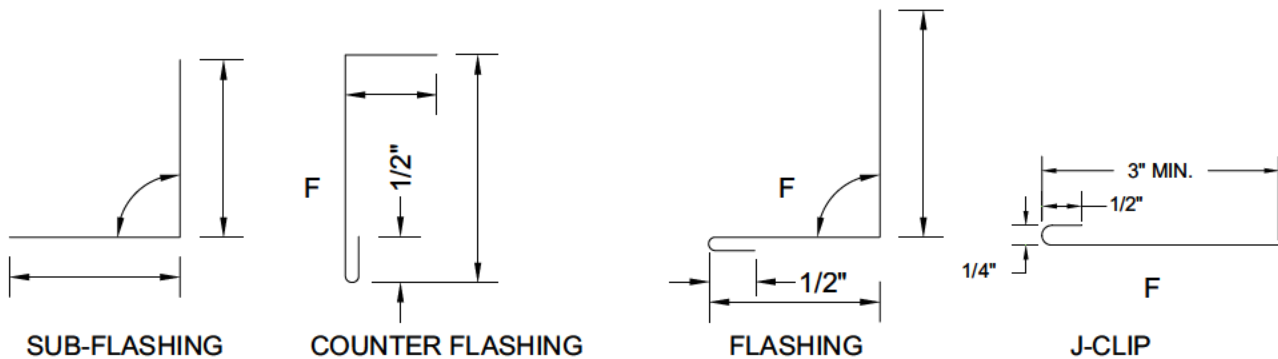
30 FELT UNDERLAYMENT
TOP LAYER OF FELT TO BE PARALLEL WITH ROOF SLOPE

FASTENERS; 20" O.C. MAX. PLACE A DAB OF CAULK AT FASTENER LOCATION
DRIVE FASTENER AND CAULK FASTENER HEAD

1. SOLID SHEATHING (BY OTHERS) TO BE MINIMUM 1/2" PLYWOOD OR EQUIVALENT IN STRENGTH FOR HOLDING POWER OF FASTENERS.

2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.

F = FINISH SIDE



BERRIDGE
MANUFACTURING
COMPANY

ROOF PENETRATION SECTION DETAIL

Victorian or Classic Shingles

DATE: 05-02-02

PAGE/FILE
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COUNTER FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

FASTENERS; 20" O.C. MAX.

FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS.
POP RIVET TO J-CLIP 40" O.C. MAX.
CAULK RIVET HEADS

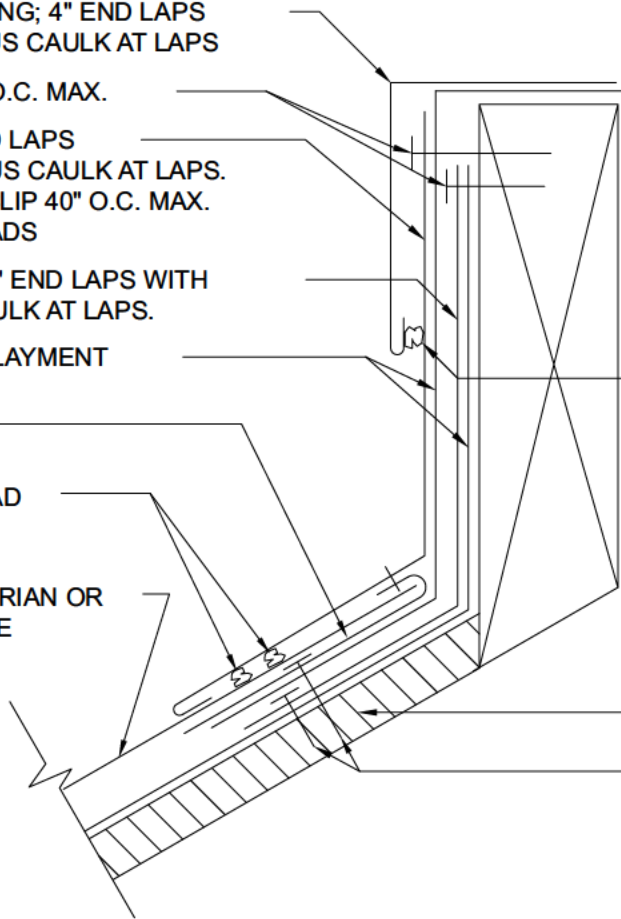
SUB-FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS.

30 FELT UNDERLAYMENT

J-CLIP

CONTINUOUS BEAD OF CAULK

BERRIDGE VICTORIAN OR CLASSIC SHINGLE



CONTINUOUS BEAD OF CAULK

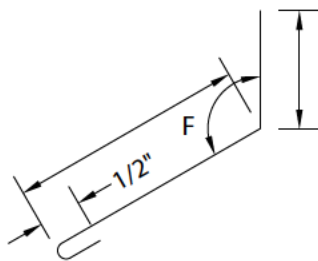
SOLID SHEATHING

FASTENERS; 20" O.C. MAX.

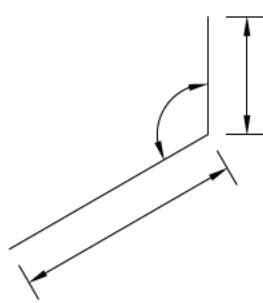
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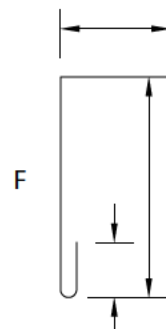
F = FINISH SIDE



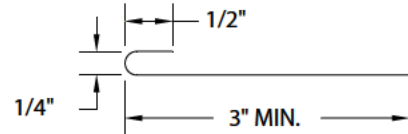
FLASHING



SUB-FLASHING



COUNTER FLASHING



J-CLIP



BERRIDGE
BERRIDGE
MANUFACTURING
COMPANY

**ROOF PENETRATION
SECTION DETAIL**

Victorian or Classic Shingles

DATE: 05-02-02

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BERRIDGE VICTORIAN OR CLASSIC SHINGLE

J-CLIP BUTT ENDS FOR WEEP, DO NOT CAULK IN OR UNDER J-CLIP

COUNTER FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

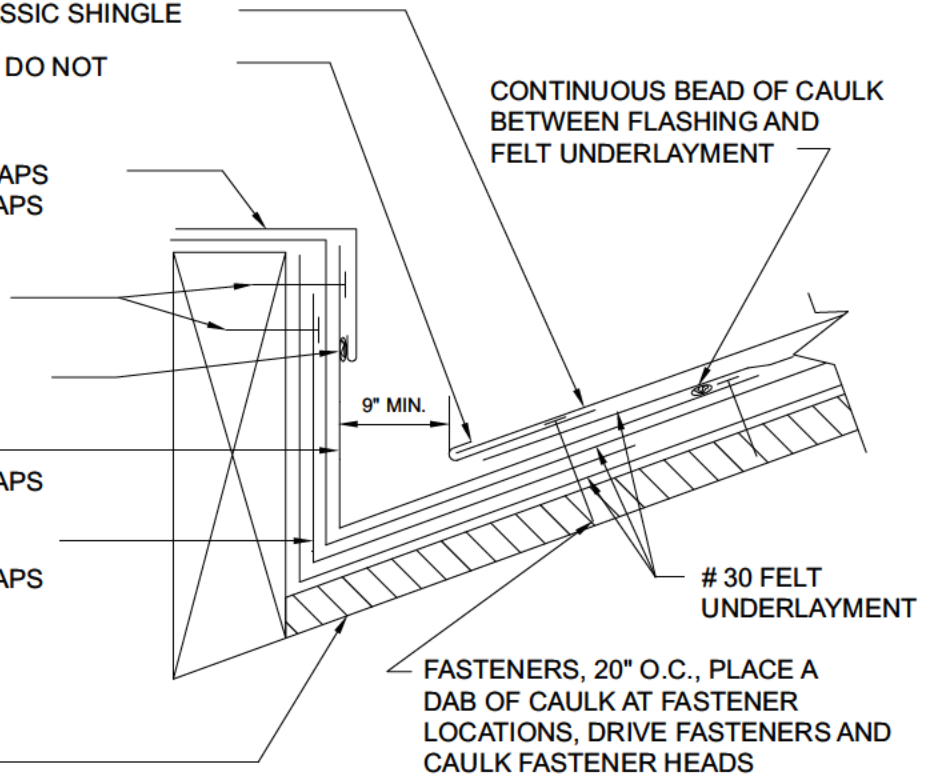
FASTENERS; 20" O.C. MAX.

CONTINUOUS BEAD OF CAULK

FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

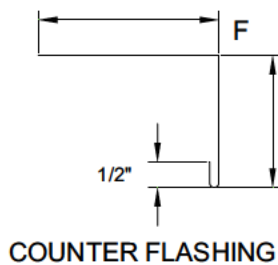
SUB FLASHING; 4" END LAPS WITH CONTINUOUS CAULK AT LAPS

SOLID SHEATHING

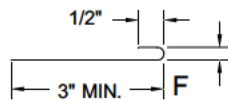


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2. ALL FELT UNDERLAYMENT, CAULKING, AND FASTENERS, ARE ITEMS TO BE FURNISHED AND INSTALLED BY THE ROOFING INSTALLER AT THE DISCRETION OF THE ARCHITECT.

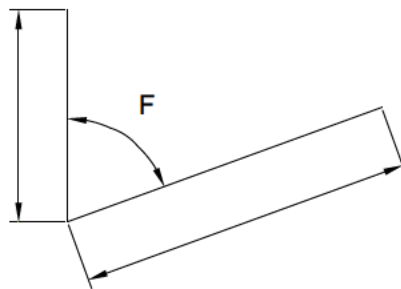
F = FINISH SIDE



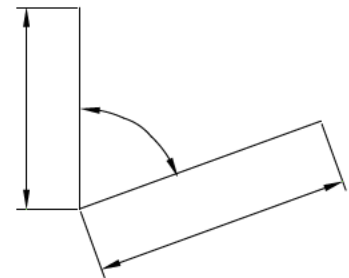
COUNTER FLASHING



J-CLIP



FLASHING



SUB FLASHING



BERRIDGE
MANUFACTURING
COMPANY

Roofs of Distinction

ROOF PENETRATION SECTION DETAIL

Victorian or Classic Shingles

DATE: 05-02-02

PAGE/FILE

VC-84



Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

OFFICE OF THE
SECRETARY

FL #	FL11422-R8								
Application Type	Revision								
Code Version	2023								
Application Status	Approved								
Comments									
Archived	<input type="checkbox"/>								
Product Manufacturer	Berridge Manufacturing Co.								
Address/Phone/Email	1720 Maury Houston, TX 77026 (210) 650-7057 Lreimert@berridge.com								
Authorized Signature	James Buckner jimmy@cbuckinc.net								
Technical Representative	Technical Dept.								
Address/Phone/Email	1720 Maury St. Houston, TX 77026 (713) 223-4971 technical@berridge.com								
Quality Assurance Representative									
Address/Phone/Email									
Category	Roofing								
Subcategory	Metal Roofing								
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input type="checkbox"/> Evaluation Report - Hardcopy Received								
Florida Engineer or Architect Name who developed the Evaluation Report	James L. Buckner, P.E. @ CBUCK, Inc.								
Florida License	PE-31242								
Quality Assurance Entity	UL LLC								
Quality Assurance Contract Expiration Date	12/31/2027								
Validated By	Steven M. Urich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received								
Certificate of Independence	FL11422_R8_COI_CertifOfIndep.pdf								
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th>Standard</th> <th>Year</th> </tr> </thead> <tbody> <tr> <td>TAS 125</td> <td>2003</td> </tr> <tr> <td>UL 1897</td> <td>2015</td> </tr> <tr> <td>UL 580</td> <td>2006</td> </tr> </tbody> </table>	Standard	Year	TAS 125	2003	UL 1897	2015	UL 580	2006
Standard	Year								
TAS 125	2003								
UL 1897	2015								
UL 580	2006								
Equivalence of Product Standards Certified By	Florida Licensed Professional Engineer or Architect FL11422_R8_Equiv_Test_Standard_Equiv.pdf								

Sections from the Code

Product Approval Method	Method 1 Option D
Date Submitted	09/27/2023
Date Validated	10/14/2023
Date Pending FBC Approval	10/21/2023
Date Approved	12/12/2023

Summary of Products

FL #	Model, Number or Name	Description
11422.1	01 - "Bermuda" Panel	24 Gauge Steel Roof Panel, 11" Width, Attached to Wood Deck with Berridge Anchor Clips
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-52.5 Other: Refer to Evaluation Report for Conditions & Limitations of Use. Refer to manufacturer's installation instructions as a supplemental guide.		Installation Instructions FL11422_R8_II_01_Bermuda_WoodDeck_EVALREPORT_.pdf Verified By: James L. Buckner, P.E. @ CBUCK, Inc. P.E. #31242 Created by Independent Third Party: Yes Evaluation Reports FL11422_R8_AE_01_Bermuda_WoodDeck_EVALREPORT_.pdf Created by Independent Third Party: Yes
11422.2	02 - "Classic or Victorian Shingle"	24 Gauge Steel Roof Shingle Panel, 9" x 12", Attached to Wood Deck
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-131max Other: Refer to Evaluation Report for Conditions & Limitations of Use. Refer to manufacturer's installation instructions as a supplemental guide.		Installation Instructions FL11422_R8_II_02_Classic_or_VictorianShingle_WoodDeck_EVALREPORT_.pdf Verified By: James L. Buckner, P.E. @ CBUCK, Inc. P.E. #31242 Created by Independent Third Party: Yes Evaluation Reports FL11422_R8_AE_02_Classic_or_VictorianShingle_WoodDeck_EVALREPORT_.pdf Created by Independent Third Party: Yes
11422.3	03 - "Double-Rib" Panel	24 Gauge Steel 5V Style Roof Panel, 24" Width, Attached to Wood Deck
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-138.5max Other: Refer to Evaluation Report for Conditions & Limitations of Use. Refer to manufacturer's installation instructions as a supplemental guide.		Installation Instructions FL11422_R8_II_03_DoubleRib_WoodDeck_EVALREPORT_.pdf Verified By: James L. Buckner, P.E. @ CBUCK, Inc. P.E. #31242 Created by Independent Third Party: Yes Evaluation Reports FL11422_R8_AE_03_DoubleRib_WoodDeck_EVALREPORT_.pdf Created by Independent Third Party: Yes
11422.4	06 - "Spanish Tile with Deep-Vee"	24 Gauge Steel Roof Panel Assembly Attached to Wood Deck
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +N/A/-131 Other: Refer to Evaluation Report for Conditions & Limitations of Use. Refer to manufacturer's installation instructions as a supplemental guide.		Installation Instructions FL11422_R8_II_04_SpanishTilewithDeepVee_WoodDeck_EVALREPORT_.pdf Verified By: James L. Buckner, P.E. @ CBUCK, Inc. P.E. #31242 Created by Independent Third Party: Yes Evaluation Reports FL11422_R8_AE_04_SpanishTilewithDeepVee_WoodDeck_EVALREPORT_.pdf Created by Independent Third Party: Yes
11422.5	07 - "S Tile" Panel	24 Gauge Steel Roof Panel, 32" Width, Attached to Wood Deck
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +N/A/-206 max. Other: Refer to Evaluation Report for Conditions & Limitations of Use. Refer to manufacturer's installation instructions as a supplemental guide.		Installation Instructions FL11422_R8_II_05_STile_WoodDeck_EVALREPORT_.pdf Verified By: James L. Buckner, P.E. @ CBUCK, Inc. P.E. #31242 Created by Independent Third Party: Yes Evaluation Reports FL11422_R8_AE_05_STile_WoodDeck_EVALREPORT_.pdf Created by Independent Third Party: Yes