



Planning and Development
510 North Baker Street
Mount Dora, Florida 32757
352-735-7112

Email: plandev@cityofmounddora.com

PLANNING & ZONING COMMISSION

City Hall Board Room

May 20, 2026 at 10:00 AM

AGENDA

- I. **Call to Order**
- II. **Roll Call with Determination of Quorum**
- III. **Approval of Minutes**
- IV. **Public Participation/hearing of non-agenda items**
- V. **New Business**
 - a. **Request for Site Plan;** Create Conservatory School (Project Name); 4900 Lake Park Court (Site Address); Mason Group Investments, LLC (Owner); JamesCo Builders, LLC (Applicant); Linn Engineering & Design (Engineer); Project Number: SP24-09.
- VI. **Old Business**
 - a. **Landscaping Ordinance**
- VII. **Other Business**
- VIII. **Staff and Board Updates**
- IX. **Announcement of next scheduled meeting date: *June 17, 2026 @ 10:00 a.m.***
- X. **Adjournment**

NOTICE: For purposes of Section 286.011, *Florida Statutes*, two (2) or more members of the City Council may be present at this meeting and this meeting may be considered a City Council meeting although no decision of the City Council will be made at this meeting and the City Council shall comply with the requirements of controlling State law in every respect.

NOTICE: If any person decides to appeal any decisions made at this meeting with respect to any matter considered at this

meeting, such person may need a record of these proceedings. For such purpose, a person may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based. The City shall not make or perfect such a record. Section 286.0105, *Florida Statutes*.

NOTICE: In accordance with the Americans with Disabilities Act (“ADA”) and Florida Statutes, Section 286.26, persons with disabilities needing a reasonable accommodation to participate in a public hearing or meeting should contact the City of Mount Dora’s ADA Coordinator at least 48 hours prior to the proceeding. The ADA Coordinator may be contacted by phone at 352-735-7126, ext. 1111, or by email at clerk@cityofmounddora.com.

If hearing impaired, telephone the Florida Relay Service numbers (800) 955-8771 (TDD) or (800) 955- 8770 (Voice) for assistance.



April 15, 2026

MINUTES

I. Call to Order

Having been duly advertised as required by law, Vice Chair, Adrian Coombes called the regular meeting of the Planning and Zoning Commission to order at 10:00 a.m. on Wednesday, April 15, 2026.

II. Roll Call with Determination of Quorum

Present: Adrian Coombes, 1--Harris Turner, Lynn Tipton, Tom Dring, Suzanne Scheck, Andrea Lothar & David Hoops, Andrew Hand (via zoom)

III. Approval of Minutes

On a motion by Lynn Tipton, seconded by Suzanne Scheck, the board voted to approve the meeting minutes dated March 18, 2026, unanimous by a 7-0 vote.

IV. Public participation / hearing of non-agenda items:

None.

V. Old Business

A. Landscaping Code Update

Ms. Janiszewski provided a summary of the proposed Landscaping Code Update.

Mr. Hand discussed proposed Senate Bill 180.

Discussion on the buffer section. Residential lot landscaping requirements, tree removal mitigation requirements.

The board reviewed relevant sections.

Discussion on *Chapter VI. – Design Standards*, Section 6.6.1 *General requirements*. Cost of renovation work.

Question posed: Why are city parks excluded? Discussion followed.

Discussion on PUD and exemption of landscaping requirements.

Discussion on repairing existing planters, the Boy Scout Building and other locations.

Discussion on the Buffer Section. Tabled for future date.

Discussion on Section 6.6.3, *Parking lot requirements*. Landscape requirements at entrances and exits at parking garages.

Discussion on Section 6.6.5. – *Planting standards and requirements* - existing trees and Landscaping Credits.



CITY OF MOUNT DORA, FLORIDA
PLANNING AND ZONING COMMISSION MINUTES

April 15, 2026

Discussion on the approved tree chart.

Discussion on Performance standards, tree maintenance, irrigation, pruning, fertilizer, tree removal.

Discussion on increasing tree bank contributions.

Discussion on commercial entities needing a license for the use of fertilizer.

Discussion on *Section 6.6.6, Maintenance*, enforcement to replacement dead landscaping. Inspections after cold snaps.

Discussion on *6.6.7. Item 2, subsection 3 - Exemptions to replacement and mitigation*.

Discussion on landscaping for residential lots. Enforcement for new developments.

Discussion on landscaping comparisons with other cities.

VI. Staff Updates

A. EAR "Evaluation Appraisal Report"

Ms. Janiszewski provided an update on the EAR "Evaluation Appraisal Report".

B. Traffic Guidelines

Ms. Janiszewski provided an update on Traffic Guidelines.

Discussion on traffic lights.

Discussion on traffic studies.

Discussion about the intersection of Donnelly and US 441.

Discussion about the intersection of ABC Liquor.

Discussion on the role of the Public Works Department and City Manager's Office.

Discussion on traffic studies for one-way streets in downtown.

Discussion on sidewalks on the same side of streets.

Discussion on the role of the board for Planning and Zoning.

Discussion on Commissioner Training Courses. Discussion on FDOT attending.



VII. Ask Staff/Other Business

Ms. Janiszewski discussed the Organizational Chart.

Discussion on updating the website with chart(s).

Discussion on mitigation fees for Project Juniper Village.

Discussion on Historic Preservation Board Ordinance for accessory dwellings. Ms. Janiszewski stated that it will be forthcoming to the Planning and Zoning Commission.

Discussion on Road Residential Impact Fees.

Discussion regarding adding "Questions for Staff" to future Agendas.

VIII. Announcement of next scheduled meeting date

Chair announced the date and time of the next scheduled meeting:

A. May 20, 2026 @ 10:00 am

IX. Adjournment

Chair announced the date and time of the next scheduled meeting:

On a motion by Lynn Tipton, seconded by Tom Dring, the board voted to adjourn the meeting at 11:13 a.m

Adrian Coombes

Chair

Theresa Willis

Administrative Coordinator



CITY OF MOUNT DORA

Planning and Development

510 N. Baker St.

Mount Dora, FL 32757

352-735-7113

Fax: 352-735-7191

E-mail: Planning@cityofmoundora.com

DATE: May 20, 2026

TO: Planning and Zoning Commission

FROM: Development Review Committee
Ryan Winkler, AICP, Senior Planner

RE: **Request for Site Plan;** Create Conservatory School (Project Name); 4900 Lake Park Court, Mount Dora (Site Address); South of US Highway 441 and terminus of Lake Park Court (Location); Randall Mason, Mason Group Investments, LLC (Owner); Jesse Gallimore, JamesCo Builders, LLC (Applicant); Chad Linn, Linn Engineering & Design (Engineer); Theodore Weppelmann, Theodore Weppelmann Environmental Architects (Landscape Architect); Kevin Plenge, FATHOM Architecture, (Architect).
Project No. SP24-09

SUMMARY OF RECOMMENDATION:

Staff recommends approval of the above-referenced request, subject to DRC and engineering comments.

REFERENCES/SUPPORT:

Land Development Code Section 5.1, Site Plan Regulations

Land Development Code Section 6.1, Design Standards

SITE SUMMARY:

Parcel ID:	23-19-26-1000-000-00800
Alternate Key:	3731999
Existing Use:	School / Educational Facility
Proposed Use:	School / Educational Facility
Future Land Use:	Commercial
Zoning:	C-3 Highway Commercial
Overlay Zones:	None
Max. Building Height:	65 feet
Proposed Building Height:	29'-0" feet (parapet wall features)
Proposed Building Size:	3,955-sf – 2-story (Phase 1) 1,088-sf (Phase 2)
Site Area:	2.35 acres (102,307 square feet)
Maximum ISR:	65%
Proposed ISR:	36.46%
Maximum FAR:	0.35
Proposed FAR:	0.045

Surrounding Property Table:

Direction	City/County	FLU	Zoning	Existing Use(s)
North	City	Commercial	C-3	Vacant Lot
South	City	Medium Density	R-1A	Single-Family Residential
East	City	Commercial	C-3	Ross Shopping Plaza and Parking Lot
West	City	Commercial	C-3	Assisted Living Facility

ANALYSIS:

The Applicant proposes to redevelop portion of the previous Miniature Golf Course facility to facilitate the expansion of the Create Conservatory School. The Applicant proposes the redevelopment in two (2) phases as part of the subject site plan review request. The property was issued a conditional use permit (CUP) for a private educational facility in commercial zoning for a maximum number of one-hundred sixty-nine (169) enrolled students.

The Planning and Zoning Commission placed the following conditions on the use:

- Site Plan shall provide the required site improvements associated with the proposed uses as set forth in the City of Mount Dora Land Development Code. Site Plan shall include a phasing schedule with timeline and work expected to be completed in each phase. The increase in student enrollment shall be coordinated with the phase site improvement.
- Site Plan shall include a traffic circulation plan to demonstrate the coordination of student drop-off and pick-up during peak hours. The student drop-off and pick-up shall not inadvertently impact existing neighboring uses along Lake Park Court. Vehicle stacking for pick-up and drop-off activities shall be on-site.

The subject property is developed with a 1,324-sf building and accessory parking, site lighting, stormwater management, and water/waste water utility connections. The property is currently used as a private educational facility (K-8).

The Site Plan application breaks down the project into two (2) phases:

Phase 1

- Demolition of Miniature Golf Course structures
- New 2-Story 3,955-sf (per floor) building
- Convert existing building into classrooms (no exterior building modifications)
- 5 new class rooms, 3 existing classrooms, 13 students per class = 104 students on campus.
- Parking lot redesign to include additional parking spaces and accessible routes
- Construction of six (6') foot block wall along southern property line.

Phase 2

- New 1,088-sf building*
- 5 additional classrooms, total of 13 classrooms, 13 students per class = 169 students on campus.
- Expand parking lot increase to add parking spaces and expand on-site student pick-up and drop-off on-site stacking plan.

* No building elevation or building plan was submitted with the site plan review application. Applicant will apply for a minor site plan amendment in preparation of Phase 2 development to show building details and compliance with LDC.

Commercial Architecture and Site Design Standards

To demonstrate consistency with the City’s commercial architectural and site design requirements, colored elevations were provided with selected design elements called-out.

Parking and Loading Spaces

Parking space ratios are based on one (1) space per for each four (4) seats in the main auditorium or place of assembly. The site plan allocated the Code required parking count, 59 parking spaces, for both phases. The first phase will required twenty-six (26) parking spaces, and the second phase will require an additional twenty (20) spaces.

Bicycle parking will be provided on-site using the City’s standard U-Shaped bike rack. The site plan shows a bike rack to park at least two (2) bikes will be installed to meet the Code minimum.

Access

Ingress/egress utilizes the existing stub-outs from the property to Lake Park Court.

Drainage

Stormwater management has been designed to be captured onsite with proposed swale stormwater retention system in the southeastern portion of the property.

Water and Sewer

Potable Water and Sewer utilities will be provided by the City of Mount Dora. The proposed development will connect to Wastewater Treatment Plant #1.

Landscaping

A Landscape Plan was provided for the proposed redevelopment of the portions of lands previously developed as a miniature golf course. The landscape plan provides details of the landscape buffers along property lines, parking lot trees, and additional building perimeter landscaping. The Code requires trees removed for construction shall either be relocated on-site or replanted inch for inch. The Landscape Plan proposes to remove fourteen (14) queen palms, 3 crepe myrtles, and one (1) southern magnolia. The Applicant proposes to replant the Code required canopy trees on-site. No tree-bank contribution is requested.

The site plan review application has been reviewed by the Development Review Committee, and review comments were provided to the Applicant. The Applicant to submit a response to comments demonstrating the site plan and supplemental documents are consistent with the requested information from the Development Review Committee and engineering consultants. Staff recommends approval of the site plan application subject to meeting outstanding DRC and engineering comments.

STAFF DETERMINATION:

Staff reviewed the application and found it consistent with the City’s Land Development Code and Mount Dora Comprehensive Plan 2045.

ATTACHMENTS:

Vicinity Map

DRC Comments (dated May 12, 2026)

Application (on file with Planning and Zoning)

Site Plan

Elevations

Landscaping Plan

Traffic Study

Vicinity Map

N



Legend

City Limits

- In
- Out

Subject Parcel

4900 Lake Park Court
CREATE Conservatory



0 0.05 0.1 0.2 Miles

Date Printed: 5/23/2025 3:00 PM



CITY HALL
510 North Baker Street
Mount Dora, Florida 32735
352-735-7100
MountDora.gov

May 12, 2026

JamesCo Builders, LLC

Attn: Jesse Gallimore

3425 Lake Center Drive, Ste. 3

Mount Dora, FL 32757

Via Email: jesse@jamescobuilders.com

Re: DRC Verification – Approval with Conditions

Create Conservatory – 4900 Lake Park Ct., Mount Dora

Site Plan (SP24-09) – 4th Review

Dear Applicant:

Please allow this correspondence to serve as verification that the Development Review Committee has reviewed the site plan application for project referenced above, and forwards the application to the Planning and Zoning Commission with recommendation for approval with conditions, subject to meeting outstanding DRC and engineering comments (enclosed).

Please provide resubmittal by **June 1, 2026**, following the Planning and Zoning Commission public hearing. Please ensure the resubmittal package includes a written response to the DRC comments; revisions are bubbled on the plan sets; and the updated plan sheets are revised to reflect the revision date. Only digital submittals will be accepted for processing; resubmittal packages may be provided via CD, flash drive, or provided via a data sharing website.

Please be advised, pursuant to Land Development Code (LDC) Section 5.2.2. (9), more than two reviews by DRC staff for a site plan shall be considered a new application and, therefore, require an additional application fee. In additions, costs incurred by the City's outside engineering consultants and City Attorney will be billed directly to the applicant.

If you have any comments or questions about the project status, please do not hesitate to contact our office at 352-735-7112 or planning@mountdora.gov.

Sincerely,

A handwritten signature in blue ink that reads "Ryan Winkler".

Ryan Winkler, AICP

Senior Planner

Enclosure(s): DRC Comments dated April 9, 2026
CPH Comments dated April 10, 2026

cc: Randall Mason, randymason2010@yahoo.com
Gregory T. Chatelain, greg@linnengineering.com



CITY HALL
510 North Baker Street
Mount Dora, Florida 32735
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MountDora.gov

File

Building Services
352-735-7115
Building@MountDora.gov

Code Compliance
352-735-7112
Code@MountDora.gov

Community Redevelopment Agency
352-735-7112
PlanDev@MountDora.gov

Planning & Zoning
352-735-7112
Planning@MountDora.gov



1117 East Robinson St.
Orlando, FL 32801
Phone: 407.425.0452
Fax: 407.648.1036

DELIVERED VIA E-MAIL

April 10, 2026

Mr. Vince Sandersfeld
Planning Director
City of Mount Dora
510 Baker Street
Mount Dora, FL 32757

RE: Create Conservatory School (Project No.: SP24-09)
Site Plan – Fourth Review

Dear Mr. Sandersfeld,

We are in receipt of the application, construction plans, surveys, landscape plans, architecture plans, and supporting documents for the above referenced development. The following comments are based upon our review of the documents received by CPH on April 3, 2026, as submitted by JamesCo Builders, LLC. This submittal was in response to the City and CPH comments, dated April 24, 2025.

All of our civil comments have been addressed. Please be reminded that the 2-inch fire line and Siamese hose connection will need to be verified and approved by the fire department, and that the contractor is to provide a revised survey.

We have two informational comments that should be addressed on the final plans that are sent to the City. On Sheet C02, Water System Note #28 – “Disinfection” is the correct term not “Sterilization”. On Sheet C03, the legend calls for “mill and resurface existing asphalt.” However, the hatched area on the plans is for new asphalt in the Phase 2 portion of the work. Update legend accordingly and hatch the existing asphalt that is to be milled.

This concludes our civil review of the plans. We do not have any objection to the City approving this project pending the revisions noted above and pending fire department approval. Please be reminded, final approval of the as-builts by the City of Mt. Dora does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely,
CPH Consulting, LLC

A handwritten signature in cursive script that reads "Allen C. Lane, Jr." in black ink.

Allen C. Lane, Jr, P.E.
Senior Project Manager

CC: Erica Chasar, E.I.

J:\2501805\Civil\1-plans review\Create Conservatory - Site Plan\Letter\Review 4\CPH Comments - Create Conservatory School - Site Plan - 4th Review mark up for approval.docx



DRC REVIEW COMMENTS

Utilities

DATE: April 9, 2026

FROM: Andrew Marsian, Utilities & Plant Operations Director

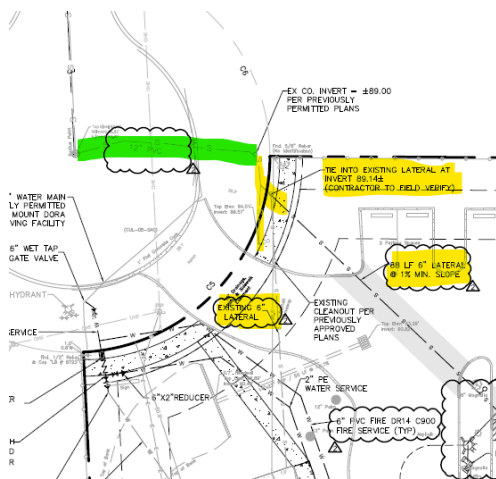
THROUGH: William J. Mitchell, Jr., P.E., City Utilities Engineer
Josh Kramm, Utility Manager

PROJECT NAME: Create Conservatory School
Site Plan – 4th Review

Administrative approval (or lack of comment on a specific item) does not constitute a waiver of any code requirements nor does it relieve the developer of responsibility to meet those requirements. It shall be the responsibility of the developer to correct any defects in the plans or the facility as constructed that results in a failure to meet applicable code requirements.

Utilities Comments:

- Plans show a 6" sanitary lateral connecting to a 6" sanitary lateral. This then flows to a 12" sanitary connection. The two 6" laterals need to go to the 12" line independently or upsize line.



Storm Water:

DRC Review Comments – Public Works Department

Page 2

1. Sheet C02 – Testing and Inspection Requirements (Drainage). Include information to comply with the following: *The Owner/Developer shall submit a video inspection of the entire stormwater management system for review and approval, including all pipes, structures, outfalls, etc. The system shall be fully constructed, stabilized, and cleaned prior to inspection. Video shall be continuous, clearly depict interior conditions, and include sufficient location references to identify each segment. A log identifying inspected segments and any deficiencies shall be provided. Submittals shall be in a digital format to the Public Works Stormwater Division.*
2. Sheet C02 – Best Management Practices – Item 4. The proposed method of utilizing straw or mulch to prevent sediment tracking or discharges at the entrance/exit is not in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual.
3. Sheet C02 – Section 2 Protection of Surface Water quality During and After Construction – Item 2.6. There is a typo in the first sentence for swale, it instead says wale.
4. Sheet SWPPP 1 – Section 1 General Erosion Control – Item 2.3 B. This item states “B. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS SHOWN ON THIS SHEET.” However, there are no inlet protection details on this sheet.
5. Sheet SWPPP 2 – Erosion Control & Stormwater Pollution Prevention Plan. This plan is missing the stabilized construction entrance location.
6. Sheet SWPPP 2 – Erosion Control & Stormwater Pollution Prevention Plan. This plan is missing the location of inlet protections.
7. Sheet SWPPP 2 – Erosion Control & Stormwater Pollution Prevention Plan. The proposed silt fence goes through the middle of the existing west pond. If there is no work being done in the pond area then the silt fence needs to be adjusted to protect the pond from discharges, such as between the pond and the proposed sidewalk.

CREATE Conservatory

4900 Lake Park Ct, Mt Dora, FL 32757

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General Notes
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS LISTED IN THE PROJECT MANUAL AND THE DRAWINGS (CONTRACT DOCUMENTS) INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

1. MAINTAIN ONE SET OF CURRENT APPROVED PERMIT DOCUMENT ON SITE AT ALL TIMES.
2. MAINTAIN AND KEEP CURRENT, RECORD DOCUMENTS INCLUDING BUT NOT LIMITED TO THE DRAWINGS AND THE PROJECT MANUAL. POST ALL ADDENDA, CHANGE ORDERS AND MINOR CHANGES IN THE WORK DAILY. CONFIRM ALL CONSTRUCTION DRAWINGS ARE CURRENT.
3. DO NOT SCALE THE DRAWINGS. IF ADDITIONAL DIMENSIONS ARE NEEDED, THEY ARE TO BE REQUESTED FROM THE ARCHITECT.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT OF ALL SUBCONTRACTORS.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY AND SECURITY OF THE SITE UNTIL THE COMPLETION OF PROJECT CLOSEOUT. ALL TEMPORARY SUPPORTS, BRACING, & SHORING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. THE DRAWINGS ARE NOT A COMPREHENSIVE DOCUMENTATION OF THE AS-BUILT CONDITIONS. EXISTING FRAMING SHOWN IS FOR REFERENCE ONLY.
7. FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK. VERIFY EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ARCHITECT OF ALL INCONSISTENCIES. DO NOT COMMENCE THE WORK PRIOR TO RECEIPT OF MODIFICATIONS FROM THE ARCHITECT.
8. THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING CONDITIONS BY FIELD MEASUREMENTS BEFORE SUBMISSION OF SHOP DRAWINGS AND/OR FABRICATION. THE CONTRACTOR SHALL EXAMINE THE EXISTING STRUCTURE TO DETERMINE IF THE MODIFICATIONS INDICATED IN THE DRAWINGS ARE FEASIBLE AND SHALL NOTIFY THE ARCHITECT OF UNUSUAL CONDITIONS.
9. LOCATE ALL EXISTING UTILITIES INCLUDING ANY NOT SHOWN IN THE CONTRACT DOCUMENTS. PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING THE EXECUTION OF THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CORRECTING ANY DAMAGE CAUSED BY OPERATIONS DURING THE EXECUTION OF THE WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS AND APPROVALS NECESSARY TO INITIATE AND COMPLETE SPECIFIED WORK.
11. THE CONTRACTOR'S HOURS, ACCESS, STAGING AREA, DUMPSTER, AND PORTABLE TOILET FACILITIES LOCATION TO BE COORDINATED WITH AND APPROVED BY OWNER PRIOR TO COMMENCEMENT OF WORK.
12. PROVIDE ALL TEMPORARY SUPPORT FACILITIES INCLUDING BUT NOT LIMITED TO: WATER, ELECTRICAL POWER, TOILET FACILITIES.
13. REMOVE ALL DEBRIS FROM THE SITE DAILY AND DISPOSE IN A LEGAL MANNER. PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT, AND DUST TO ADJACENT SPACES, AREAS, OR PROPERTIES. THE SITE SHALL BE KEPT BROOM CLEAN AT ALL TIMES.
14. THE BUILDING IS TO REMAIN SECURE AND PROTECTED FROM THE WEATHER AS MUCH AS FEASIBLY POSSIBLE.
15. THE CONTRACTOR IS TO REPORT TO THE ARCHITECT ALL ERRORS, INCONSISTENCIES OR OMISSIONS FOUND IN THE CONTRACT DOCUMENTS IN ORDER TO GAIN CLARIFICATION FROM THE ARCHITECT. SHOULD A CONFLICT OR A DISCREPANCY OCCUR INOR BETWEEN DRAWINGS, OR THE DRAWINGS AND SPECIFICATIONS, AND IT IS NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT IS DEEMED THAT THE CONTRACTOR HAS ESTIMATED THE MORE EXPENSIVE MATERIAL AND CONSTRUCTION METHOD INVOLVED. NEITHER THE OWNER, NOR ARCHITECT, ASSUMES RESPONSIBILITY FOR ERRORS OR MISREPRESENTATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ALL ERRORS NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT. CORRECTION OF ERRORS ARE DEPENDENT UPON THE ACCEPTANCE BY THE ARCHITECT AND THE OWNER.
16. SUBSTITUTIONS FOR PRODUCTS WILL ONLY BE CONSIDERED IN CONFORMANCE WITH THE PROCEDURES LISTED IN THE PROJECT MANUAL AND/OR SPECIFICATIONS.
17. THE CONTRACTOR SHALL REVIEW AND APPROVE ALL SUBMITTALS BEFORE SUBMITTING TO THE ARCHITECT. THE ARCHITECT SHALL REVIEW SUBMITTALS FOR GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. ARCHITECT APPROVAL OF SPECIFIC COMPONENTS DOES NOT INDICATE APPROVAL OF THE COMPLETE ASSEMBLY.
18. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CORRECTING ALL NONCOMPLYING WORK INSTALLED WITHOUT ARCHITECT ACCEPTED SUBMITTALS.
19. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER FOR ANY REQUESTED CHANGE ORDERS PRIOR TO COMMENCING WORK.
20. TESTING AND INSPECTION SERVICES SHALL BE PAID FOR AND PROVIDED BY THE OWNER AND ARE NOT PART OF THE BASIC DESIGN SERVICES.
21. DO NOT INTERCONNECT DUCT SYSTEMS WITH OTHER BUILDING EXHAUST SYSTEMS.
22. INTERIOR TRIM SHALL BE CLASS A, B OR C WITH A FLAME SPREAD RATING OF 200 OR LESS.
23. WHERE APPLICABLE, PERMANENTLY IDENTIFY ALL FIRE AND SMOKE BARRIERS AND PARTITIONS, WITH MINIMUM ONE INCH HIGH LETTERS IN SIGNS OR STENCILING, LOCATED ABOVE CEILING OR OTHER CONCEALED LOCATIONS, SPACED A MAXIMUM OF 10 FEET ON CENTER.
"FIRE AND/OR SMOKE RATED WALL - PROTECT ALL OPENINGS"
"FIRE AND/OR SMOKE RATED WALL - PROTECT ALL OPENINGS"
24. MAINTAIN ALL FIRE AND SMOKE RATINGS SHOWN IN THE CONTRACT DOCUMENTS. PROVIDE A RATED ASSEMBLY, APPROVED BY A NATIONALLY RECOGNIZED TESTING AGENCY, AT ALL OPENINGS AND PENETRATIONS.

CONTACTS
Owner: CREATE Conservatory
Architect: Kevin Plenge, RA
P: 770.851.9501
E: kplenge@fathom.com

Contractor: JamesCo Builders
P: 352.720.5940

PROJECT
6,059SF Educational building from PreK through 5th grade students

CODE ANALYSIS
Authorities Having Jurisdiction: City of Mount Dora Planning and Development

Applicable Codes/Ordinances: Florida Building Code, 8th Edition
Florida Plumbing Code, 8th Edition
Florida Energy Conservation, 8th Edition
Florida Mechanical Code, 8th Edition
Florida Accessibility, 8th Edition
Florida Fire Prevention, 7th Edition
National Electrical Code 2017 Edition
Mt. Dora Administrative Code
Florida Statutes

Building Code: FBC: E FFC: Educational
Occupancy: II-B
Construction Type: II-B
Sprinkler System: Yes
Fire Alarm System: Yes
Stories: 2
Height Above Grade: 29'-0"

Note: per exception 1 of the Florida Accessibility code and Federal Statute 28 CFR 36.401(d)(2) the building meets the necessities of the exception, it is a Title III facility

Zoning:
District: C-3 Highway Commercial
Parcel ID: 23-19-26-1000-000-00800
Set Backs: Front: 10ft; Side: 25ft; Rear: 50ft

Lot Area: 102,307SF
Allowable FAR (35%): 102,307SF X 35% = 35,807SF
Existing Asphalt Area: 20,915SF
Existing Concrete: 1,524SF
Existing Building: 1,324SF
Proposed Building - Phase 1: 3,853SF
Proposed Building - Phase 2: 1,086SF
Proposed Concrete - Phase 1: 1,783SF
Proposed Concrete - Phase 2: 153SF
Proposed Asphalt - Phase 2: 6,627SF
Total Proposed Impervious Area: 37,299SF
Previously Permitted Impervious Area: 37,160SF

Occupant Load:
Proposed Level 1: 3,866SF
Proposed Level 1: 2,104SF

Level 1:	Office:	Circulation(gathering space):	857SF/100	10
	Classrooms:	1,495SF/20		9
	Classrooms:	1,495SF/20		75

Level 2:	Classrooms:	1,495SF/20	75
	Circulation:	262SF/100	3
			172

Plumbing Fixtures:	Required	Provided
Male Water Closets:	2	2
Female Water Closets:	2	3
Male Lavatories:	2	2
Female Lavatories:	2	3
Drinking Fountains:	2	2

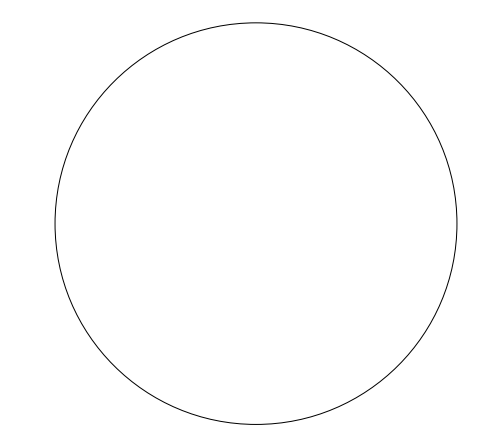
DEFERRED SUBMITTALS
Fire Protection/Sprinkler System Design
Fire Alarm Design
Emergency Responder Radio Coverage
Hollow core planks and other precast concrete elements
Pre-fabricated steel stairs, handrails and guards
Curtain walls, window walls and cladding systems
Spray applied fire proofing
Glass guardrail systems

SHEET LIST

Sheet #	Sheet Name	Issue #
A001	Cover	2
A002	Specifications	0
A003	Occupancy	0
A004	Architectural Site Plan	1
A005	Site Lighting Analysis	1
A006	Previous Site Lighting - FOR REFERENCE ONLY	1
A007	Zoning Compliance - Exteriors	2
A201	Slab Plan + Foundation	0
A250	Slab Details	0
A260	Framing Plan - Level 2	0
A261	Framing Plan - Roof	0
A262	Framing Detail	0
A301	Floor Plan - Level 1	0
A302	Floor Plan - Level 2	0
A303	Roof Plan	0
A330	Partition Types, Rated Assembly Details, Door Schedule	0
A340	Frame Elevations, Windows	0
A361	Finish + FFE Floor Plan - Level 1	0
A362	Finish + FFE Floor Plan - Level 2	0
A401	RCP - Level 1	0
A402	RCP - Level 2	0
A501	Building Elevations, Exterior Finish Schedule	0
A502	Building Elevations, Exterior Finish Schedule	0
A503	Avion	0
A550	Sections	0
A551	Sections	0
A601	Section Details	0
A601	Stairs	0
A602	Stairs	0
A701	Interior Elevations	0
A702	Interior Elevations	0
A703	Interior Elevations	0
A704	Interior Elevations	0
A705	Restrooms	0
A710	Interior Details - Casework and Millwork	0

LOCATION MAP
4900 Lake Park Ct
North

DESIGN PROFESSIONAL



NOT RELEASED FOR CONSTRUCTION

PROJECT NUMBER: 2024.021

CREATE Conservatory

4900 Lake Park Ct, Mt Dora, FL 32757

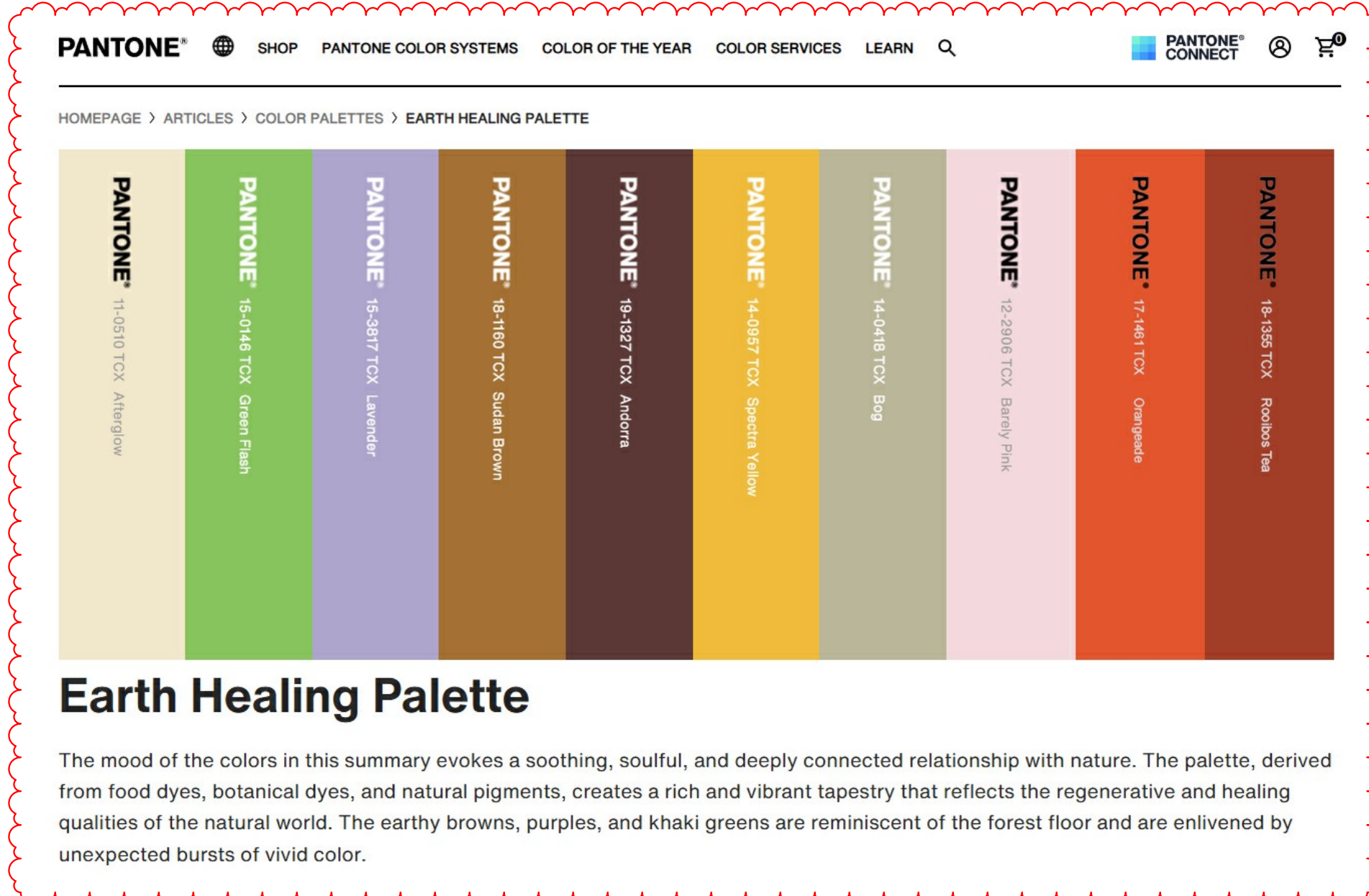
CLIENT: CREATE Conservatory

REV	DATE	DESCRIPTION
0	2025.01.16	Design Development
1	2025.07.01	Planning Approval
2	2026.01.29	Revision

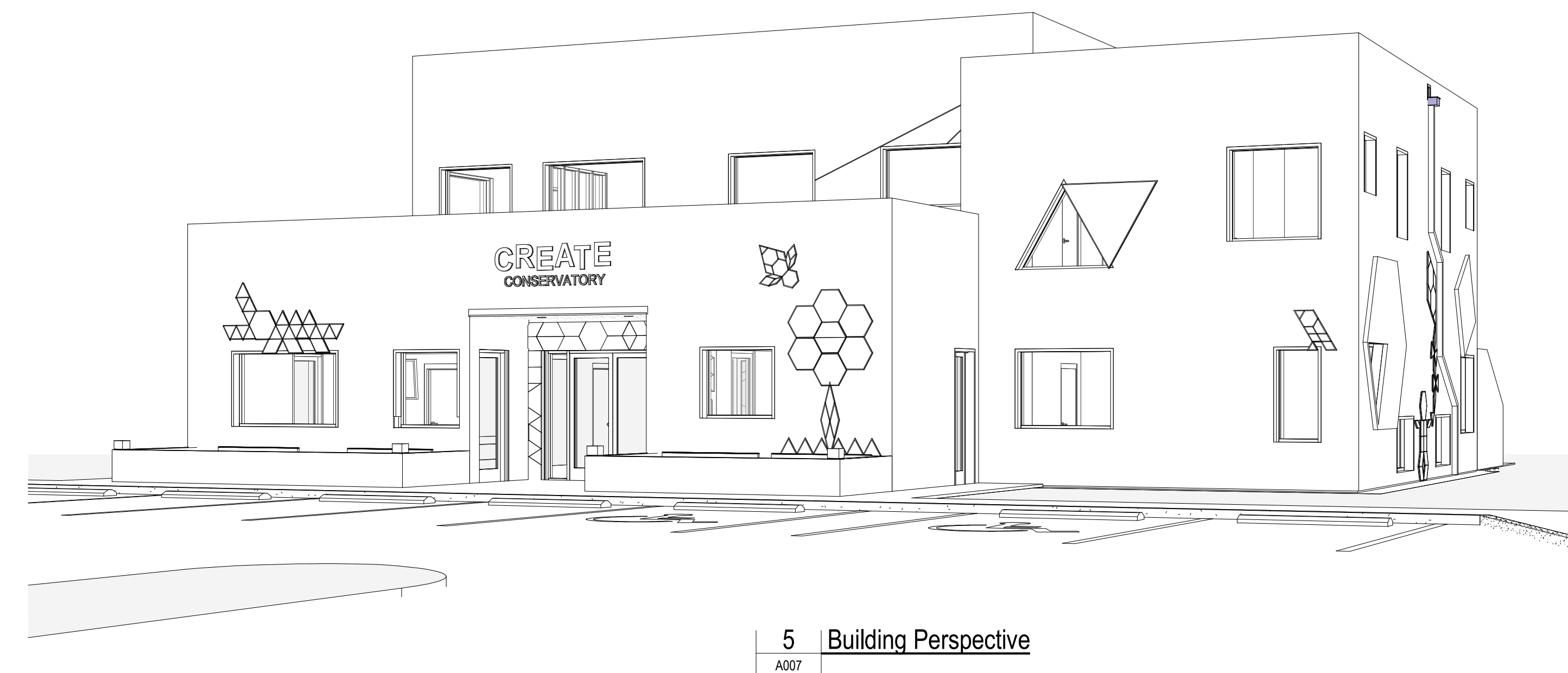
Cover

A001

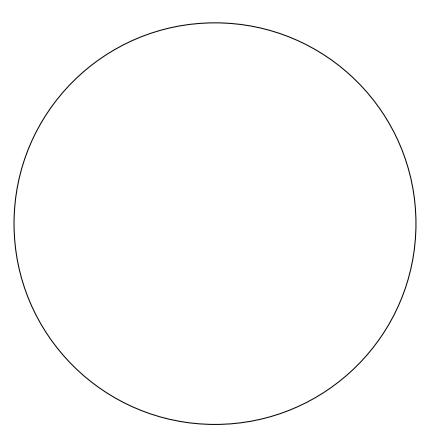
PER LDC SECTION 6.13.3(4)(b)(1); EXTERIOR BUILDING MATERIALS



PER LDC SECTION 6.13.3(2)(c)(1); THE DESIGN OF THE PARAPET HEIGHTS CONCEAL ROOF TOP EQUIPMENT AND FLAT ROOFS



DESIGN PROFESSIONAL



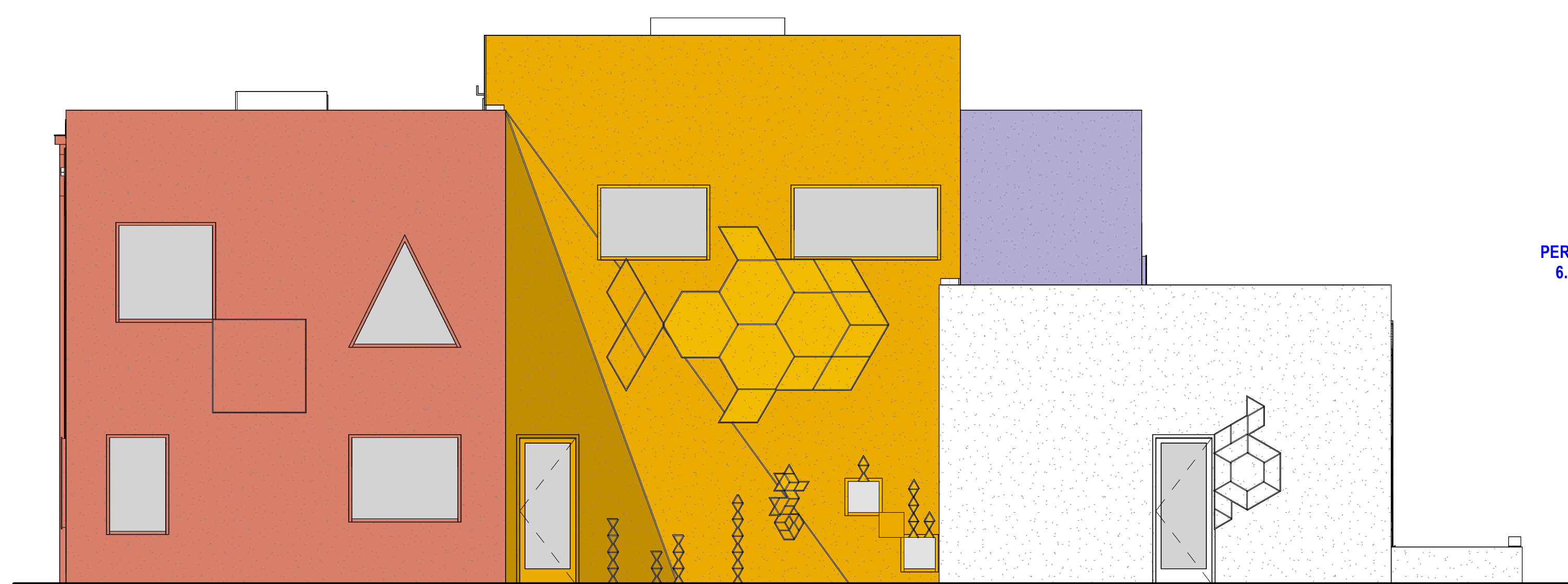
NOT RELEASED FOR CONSTRUCTION

PROJECT NUMBER: 2024.021

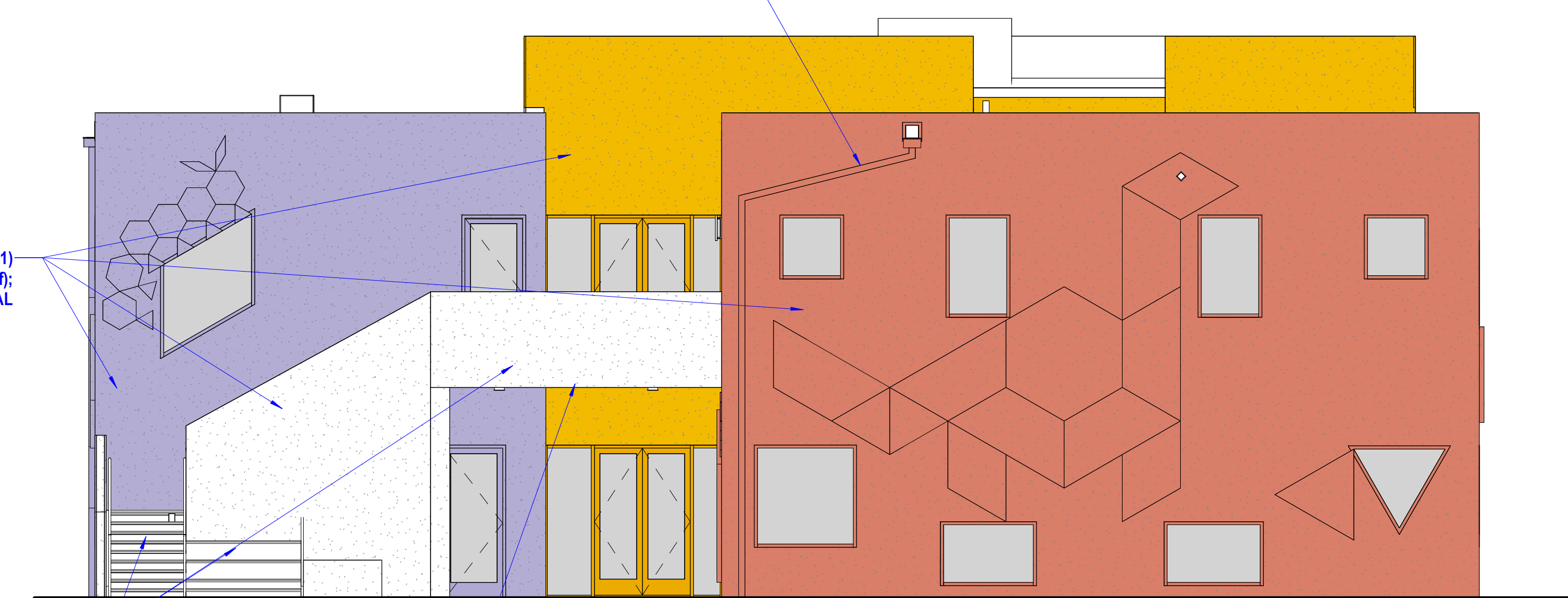
CREATE Conservatory

4900 Lake Park Ct, Mt Dora, FL 32757

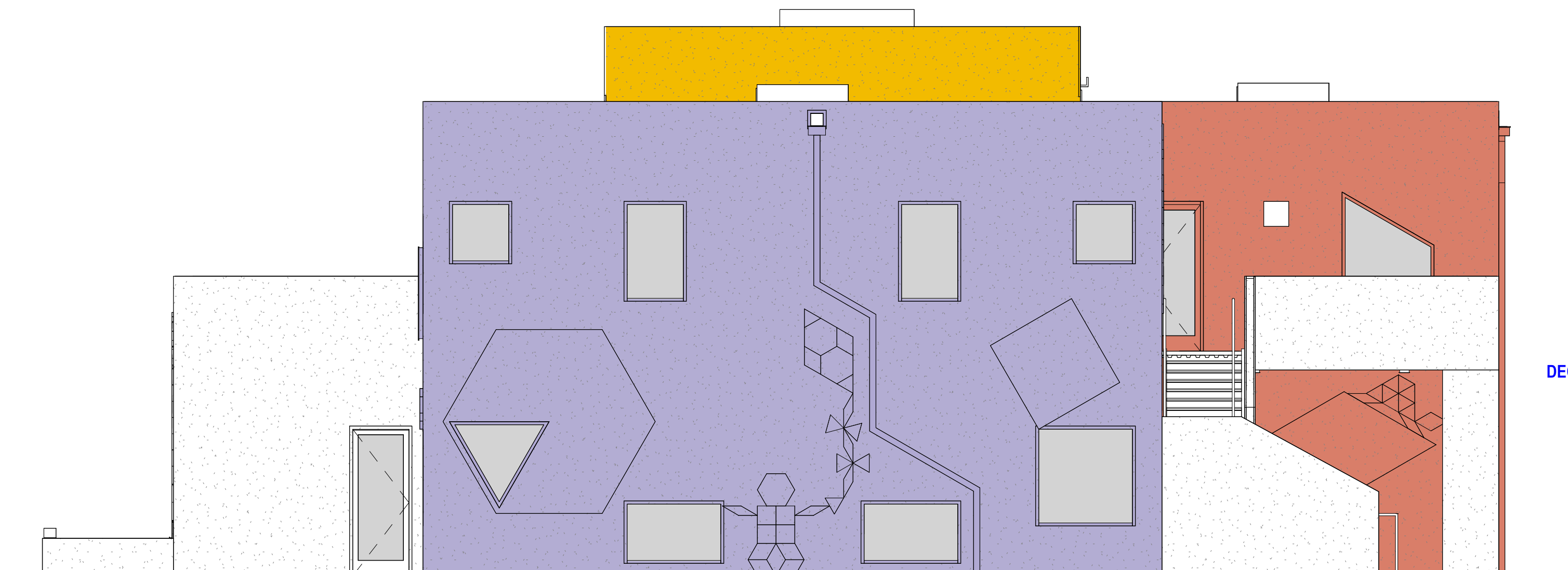
CLIENT: CREATE Conservatory



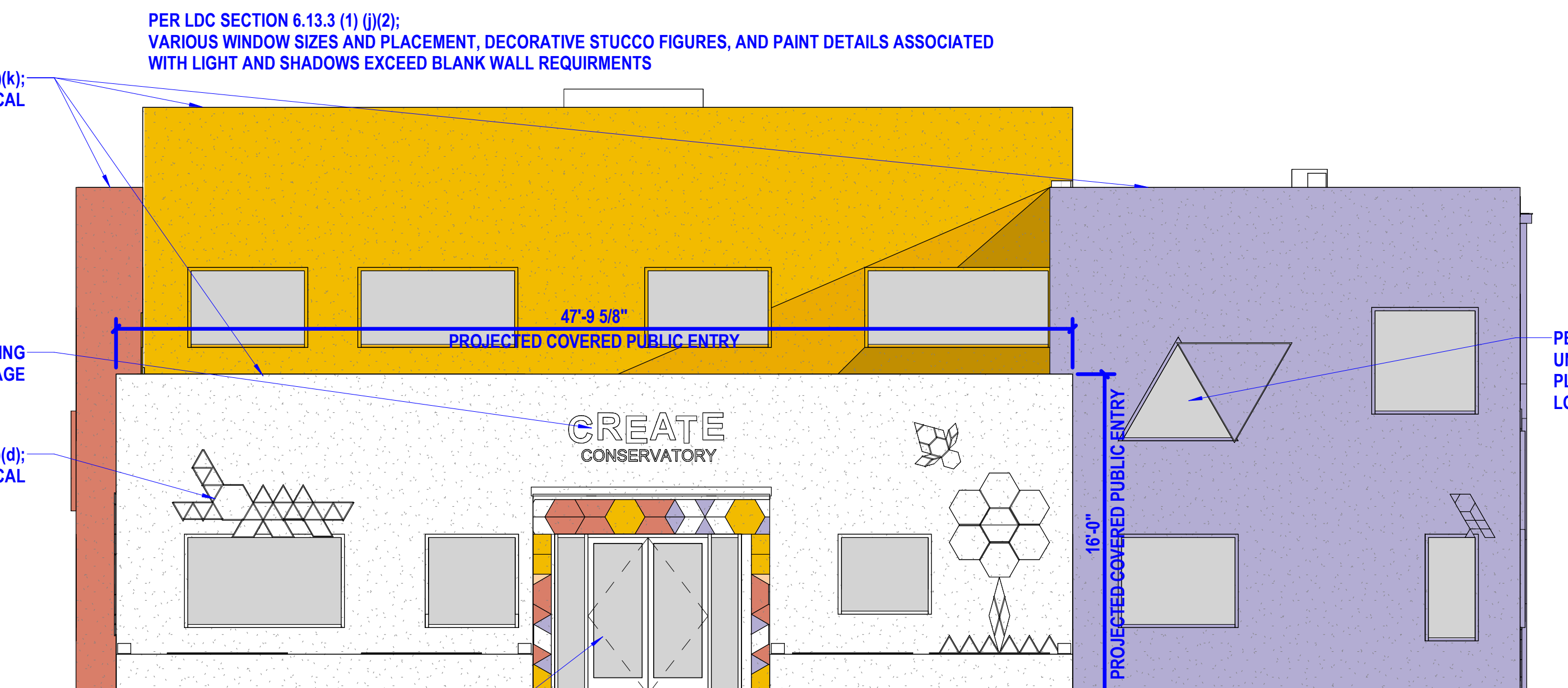
4 East Elevation
 A007 3/16" = 1'-0"
 PER LDC SECTION 6.13.3 (1)(B)(3); FACADE NOT FACING PUBLIC STREET



3 South Elevation
 A007 3/16" = 1'-0"
 PER LDC SECTION 6.13.3 (1)(b)(3); FACADE NOT FACING PUBLIC STREET



2 West Elevation
 A007 3/16" = 1'-0"
 PER LDC SECTION 6.13.3 (1)(b)(3); FACADE NOT FACING PUBLIC STREET AND FACADE OBSTRUCTED BY EXISTING BUILDING



1 North Elevation
 A007 3/16" = 1'-0"
 BUILDING ORIENTATION STANDARDS PER LDC SECTION 6.13.3 (1)(b)(3)(b): PUBLIC ENTRANCE FACADE: 765 SQFT FENESTRATION REQUIREMENT: 153 SQFT FENESTRATION PROVIDED: 154 SQFT

REV	DATE	DESCRIPTION
1	2025.07.01	Planning Approval
2	2026.01.29	Revision

Zoning Compliance - Exteriors

A007

CONSTRUCTION PLANS FOR CREATE CONSERVATORY 4900 LAKE PARK COURT MT. DORA FLORIDA 32757

PARCEL ID

23-19-26-1000-000-00800



VICINITY MAP

SCALE 1"=3000'

DRAWING INDEX

C01	COVER PAGE
C02	GENERAL NOTES
C03	PHASING SITE PLAN
C04	EXISTING CONDITIONS AND DEMOLITION PLAN
C05	SITE PLAN
C06	PAVING, GRADING, AND DRAINAGE PLAN
C07	UTILITY PLAN
C08-C09	POTABLE WATER DETAILS AND GENERAL NOTES
C10-C12	CONSTRUCTION DETAILS
C13	FIRE TRUCK ROUTE
SWPPP 1	EROSION CONTROL & STORMWATER POLLUTION PREVENTION PLAN
SWPPP 2	EROSION CONTROL & STORMWATER POLLUTION PREVENTION PLAN
SURV	SITE SURVEY

ENGINEER:
LINN ENGINEERING & DESIGN
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ORLANDO, FL 32814
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PHONE: 407-775-5194
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NICOLE.DUSLAK@GMAIL.COM

CONTRACTOR :
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UTILITIES :
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SURVEYOR :
IRELAND & ASSOCIATES SURVEYING, INC.
800 CURRENCY CIRCLE, SUITE 1020
LAKE MARY, FLORIDA 32746
OFFICE 407.678.3366

NO.	REVISIONS	DATE	BY
1	REVISED PER CITY COMMENTS	6/2024	SAT
2	REVISED PER CITY COMMENTS	5/2023	SAT
3	REVISED PER CITY COMMENTS	9/2023	SAT

LINN ENGINEERING & DESIGN, INC.
P.O. BOX 140024
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PHONE: 407-775-5194
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CALIC. NO. 31710

DESIGN ENGINEER:
CHAD S. LINN
FLORIDA REGISTRATION NUMBER:
57524
SEAL

SCALE(S) NOTED
DESIGNED BY DAH
DRAWN BY DAH
CHECKED BY DAH

COVER SHEET

FLORIDA
CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757
MT DORA

DATE
07/23
PROJECT NO.
80900-23-100
SHEET NUMBER
C01

CALL 2 FULL BUSINESS DAYS BEFORE YOU DIG
IT'S THE LAW!
DIAL 811

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Drawing name: Z:\Projects\80900 - Create Conservatory\23-100 4900 Lake Park Ct\Cadd-Civil\C01 - Create Conservatory Cover Sheet.dwg c01 cover sheet Feb 17, 2026 1:48pm by: Doug

GENERAL NOTES:

- 1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE EXISTING UTILITY INFORMATION SHOWN IS BASED ON THE BOUNDARY SURVEY PROVIDED BY CHAD'S SURVEYING AND MAPPING. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED AT ALL POINTS OF CONNECTION AND AREAS OF INTEREST.
2. PRIOR TO THE INITIATION OF SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES INCLUDING GAS, WATER, ELECTRIC, CABLE TV, COMMUNICATIONS, SANITARY SEWERS AND STORM DRAINAGE SYSTEMS, ON AND /OR ADJACENT TO THE SITE. REMOVE OR CAP AS NECESSARY.
3. THE CONTRACTOR SHALL EXERCISE CAUTION IN AREAS OF BURIED UTILITIES. FLORIDA LAW (F.S. 556) UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT MANDATES THAT EXCAVATORS/CONTRACTORS SHALL CONTACT SUNSHINE 811 (FLA. SUNSHINE STATE ONE-CALL OF FLORIDA) BY CALLING 800-442-4770 OR 811 AT LEAST 2 FULL BUSINESS DAYS PRIOR TO BEGINNING ANY EXCAVATION OR DISMOUNT TO ALLOW MEMBER OPERATORS AN OPPORTUNITY TO NOTIFY AND MARK THEIR UNDERGROUND FACILITIES AND APPROPRIATELY RESPOND TO THE POSITIVE RESPONSE SYSTEM.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED, BY THE CONTRACTOR OR SUB-CONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSTALLATION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENT AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SOLELY BE RESPONSIBLE FOR OBTAINING ALL AGENCY INSPECTION REQUIREMENTS.
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REJECTION AT THE CONTRACTOR'S EXPENSE.
7. ALL UTILITY SERVICE SUBS-OUTS (WATER, SANITARY SEWER, ETC.) ARE TO BE INSTALLED WITHIN 5' OF BUILDINGS, UNLESS OTHERWISE SPECIFIED IN THESE PLANS.
8. THE CONTRACTOR TO COORDINATE WITH THE APPLICABLE ELECTRICAL UTILITY SUPPLIER REGARDING ANY NECESSARY RELOCATIONS (i.e. UNDERGROUND AND/OR OVERHEAD ELECTRIC FACILITIES, AND FOR THE LOCATION AND INSTALLATION OF TRANSFORMER PAD(S) AND ASSOCIATED ELECTRICAL FACILITIES.
9. SAFETY:
A. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.
B. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
C. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS SHALL BE OBSERVED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM HAZARDS WITHIN THE PROJECT LIMITS.
10. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
11. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AN "ON-SITE PIPING PERMIT" (IF REQUIRED) FOR CONSTRUCTION OF THE PROPOSED UTILITIES. THIS PERMIT MUST BE OBTAINED BY A DULY LICENSED PLUMBING CONTRACTOR (OR CLASS A GENERAL CONTRACTOR) PRIOR TO THE START OF CONSTRUCTION. THESE PLANS AND ANY SUBSEQUENT REVISIONS TO THESE PLANS THAT ARE ISSUED BY THE ENGINEER, WILL BE SUBJECT TO THE APPLICABLE CONDITIONS OF THIS PERMIT.
11. THE GRAPHIC INFORMATION SPECIFIED ON THESE PLANS HAS BEEN COMPILED TO PROPORTION BY SCALE AS ACCURATELY AS POSSIBLE. HOWEVER, DUE TO REPRODUCTIVE DISTORTION, REDUCTION, AND/OR REVISIONS, INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE SCALED FOR CONSTRUCTION PURPOSES.
12. ALL SPECIFICATIONS AND DOCUMENTS REFERENCED HEREIN SHALL BE THE LATEST EDITION.
13. ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
14. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH ANY OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS/SUBCONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE HIS/HER ACTIVITIES ACCORDINGLY.
15. ALL DISTURBED AREAS WITHIN THE FOOT R/W SHALL BE SOODED WITH ARGENTINE BAHIA SOD.
16. WHERE APPLICABLE UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACKFILLED WITH GRANULAR MATERIAL IN TWELVE (12) LAYERS AND COMPACTED TO NINETY EIGHT PERCENT (98% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-19 OR T-238.
17. ALL DIMENSIONS ARE TO FACE OF CURB.
AS-BUILT:
UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION, CERTIFIED BY A REGISTERED LAND SURVEYOR. THIS "AS-BUILT" INFORMATION SHALL INCLUDE INSERT ELEVATIONS, LOCATIONS OF STRUCTURES FOR ALL UTILITIES INSTALLED, AS WELL AS GRADE BREAK LOCATIONS AND ELEVATIONS FOR PROPOSED CONSTRUCTION. NO ENGINEER'S CERTIFICATIONS FOR ACCEPTANCE OF OCCUPANCY (C.O.) PURPOSES WILL BE MADE UNTIL THIS INFORMATION HAS BEEN RECEIVED AND APPROVED BY THE OWNER'S ENGINEER.
AS-BUILT DRAWINGS - PER LOC 713.6. OWNER / DEVELOPER SHALL PROVIDE FOUR HARD COPIES AND ONE ELECTRONIC OF THE APPROVED FINAL ENGINEERING PLANS CONFORMED TO SHOW ALL AS-BUILT CONDITIONS. AS-BUILTS MUST SHOW ACCURATE MEASUREMENTS OF WATER AND SEWER LINES AND STRUCTURES FROM FIXED KNOWN LOCATIONS WITHIN THE DEVELOPMENT. IDENTIFICATION OF THE PROJECT ENGINEER ATTESTING TO THE ACCURACY OF THE DRAWINGS IF REQUIRED, CITY ACCEPTANCE OF IMPROVEMENTS AND /OR ISSUANCE OF OCCUPANCY WILL BE WITHHELD UNTIL SATISFACTORY AS-BUILTS ARE PROVIDED.
CLEARING AND SITE PREPARATION NOTES:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE EROSION CONTROL DEVICES, AS SHOWN ON THE CONSTRUCTION PLANS. PRIOR TO ANY SITE CLEARING AND/OR DEMOLITION, REFER TO THE "EROSION CONTROL NOTES" SECTION CONTAINED HEREIN FOR ADDITIONAL REQUIREMENTS.
PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN, AS INDICATED ON THE CONSTRUCTION PLANS, SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION (NO TREES) SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND THE LOCAL AGENCY HAVING JURISDICTION OVER THESE ACTIVITIES.
THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. ALL DISTURBED AREAS MUST BE SEEDED, MULCHED, SOODED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, IMMEDIATELY FOLLOWING CONSTRUCTION.
A. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING ACTIVITIES SHALL BE STOCKPILED, TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. REMOVED EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION ARE TO BE UTILIZED ON-SITE. PROVIDED THE MATERIAL IS DEEMED SUITABLE BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO EITHER BE STOCKPILED ON-SITE, AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING ANY EXCESS MATERIAL FROM THE SITE.
5. ALL EXISTING DEBRIS (ABOVE OR BELOW GROUND), CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
6. THE CONTRACTOR IS TO PREPARE THE SITE IN ACCORDANCE WITH THE SOILS REPORT. COPIES OF WHICH ARE AVAILABLE THROUGH THE OWNER OR SOILS TESTING COMPANY DIRECTLY.
7. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY CONSTRUCTION FENCE AROUND ENTIRE PERIMETER OF PROPERTY. TYPE OF FENCE TO BE SUBMITTED BY CONTRACTOR TO ENGINEER FOR APPROVAL.

PAVING AND GRADING NOTES:

- 1. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEERS, OR OWNER'S SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. SEWERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
3. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONFORM TO MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY AND ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS.
4. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED.
5. IT MAY BE NECESSARY TO FILL ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.
6. CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
7. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. TYPE CURBS AND GUTTERS CALLED FOR IN THESE PLANS.
8. PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE SOILS ENGINEER FOR APPROVAL.
9. CONTRACTOR TO PROVIDE A 1/2" TO 1" DIMENSIONAL EXPANSION JOINT MATERIAL WITH SEALER AT ADJUNCT OF CONCRETE AND OTHER MATERIALS (EXCEPT OTHER POWERS).
10. ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX #1346.
11. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOO, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SOO AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS.
12. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION.
13. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES.
14. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR.
15. FINAL GRADES SHOWN INCLUDE SOO HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS.
16. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
E. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AN "ON-SITE PIPING PERMIT" (IF REQUIRED) FOR CONSTRUCTION OF THE PROPOSED UTILITIES. THIS PERMIT MUST BE OBTAINED BY A DULY LICENSED PLUMBING CONTRACTOR (OR CLASS A GENERAL CONTRACTOR) PRIOR TO THE START OF CONSTRUCTION. THESE PLANS AND ANY SUBSEQUENT REVISIONS TO THESE PLANS THAT ARE ISSUED BY THE ENGINEER, WILL BE SUBJECT TO THE APPLICABLE CONDITIONS OF THIS PERMIT.
11. THE GRAPHIC INFORMATION SPECIFIED ON THESE PLANS HAS BEEN COMPILED TO PROPORTION BY SCALE AS ACCURATELY AS POSSIBLE. HOWEVER, DUE TO REPRODUCTIVE DISTORTION, REDUCTION, AND/OR REVISIONS, INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE SCALED FOR CONSTRUCTION PURPOSES.
12. ALL SPECIFICATIONS AND DOCUMENTS REFERENCED HEREIN SHALL BE THE LATEST EDITION.
13. ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
14. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH ANY OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS/SUBCONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE HIS/HER ACTIVITIES ACCORDINGLY.
15. ALL DISTURBED AREAS WITHIN THE FOOT R/W SHALL BE SOODED WITH ARGENTINE BAHIA SOD.
16. WHERE APPLICABLE UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACKFILLED WITH GRANULAR MATERIAL IN TWELVE (12) LAYERS AND COMPACTED TO NINETY EIGHT PERCENT (98% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-19 OR T-238.
17. ALL DIMENSIONS ARE TO FACE OF CURB.

TESTING AND INSPECTION REQUIREMENTS (PAVING/GRADING):

- 1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
2. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS. THE VARIOUS AGENCIES AND PERMIT CONDITIONS, SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.
12. FORCE MAINS SHALL BE LAID WITH AN INSULATED 1/2 GAUGE A.W.G. SOLID STRAND COPPER WIRE WOUND AROUND THE PIPE
13. ON SITE WATERWATER COLLECTION SYSTEM AND PUMP STATION IS PRIVATELY OWNED AND MAINTAINED.
14. PLUG VALVE TO BE INSTALLED VERTICALLY AND TAPPING VALVE TO BE INSTALLED HORIZONTALLY AND ABANDONED IN THE OPEN POSITION.
15. ANY VARIANCE IN SEPARATION BETWEEN WATER AND SEWER WILL NEED TO BE APPROVED BY BOTH THE CITY AND FDP.

STORM DRAINAGE SYSTEM NOTES:

- 1. STANDARD INDEXES REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS."
2. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
3. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO CENTER OF DRAINAGE STRUCTURES, WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS, WHICH ARE NOT INCLUDED IN LENGTHS.
4. ALL DRAINAGE STRUCTURE GRATES AND COVERS, EITHER EXISTING OR PROPOSED SHALL BE TRAFFIC RATED FOR H-20 LOADINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY UPDATES TO EXISTING DRAINAGE STRUCTURES.
5. CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM MUST BE COMPLETE AND ALL DISTURBED AREAS STABILIZED IN ACCORDANCE WITH THE PERMITTED PLANS AND CONDITIONS PRIOR TO ANY OF THE FOLLOWING: ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY, INITIATION OF INTENDED USE OF THE INFRASTRUCTURE, OR TRANSFER OF RESPONSIBILITY FOR MAINTENANCE OF THE SYSTEM TO A LOCAL GOVERNMENT OR OTHER IDENTIFIED ENTITY.
6. NON-MUCK GROUND SOO WILL BE UTILIZED FOR STABILIZATION OF THE PROPOSED STORMWATER RETENTION FACILITY. MUCK-GROUND SOO MAY IMPEDE THE PERCOLATION OF RUNOFF INTO THE GROUND AND IS NOT RECOMMENDED FOR THE STABILIZATION OF RETENTION POND BOTTOMS.

TESTING AND INSPECTION REQUIREMENTS (DRAINAGE):

- 1. THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
2. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM SHALL BE RESPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.
C. PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.
5. CONTRACTOR TO INSPECT & TEST MANHOLE FOR WATER-TIGHTNESS OR DAMAGE PRIOR TO PLACING INTO SERVICE. AIR TESTING, IF SPECIFIED FOR CONCRETE SEWER MANHOLES, SHALL CONFORM TO THE TEST PROCEDURES DESCRIBED IN ASTM C-1244.

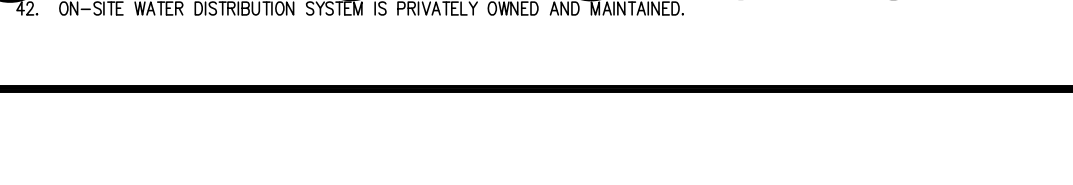
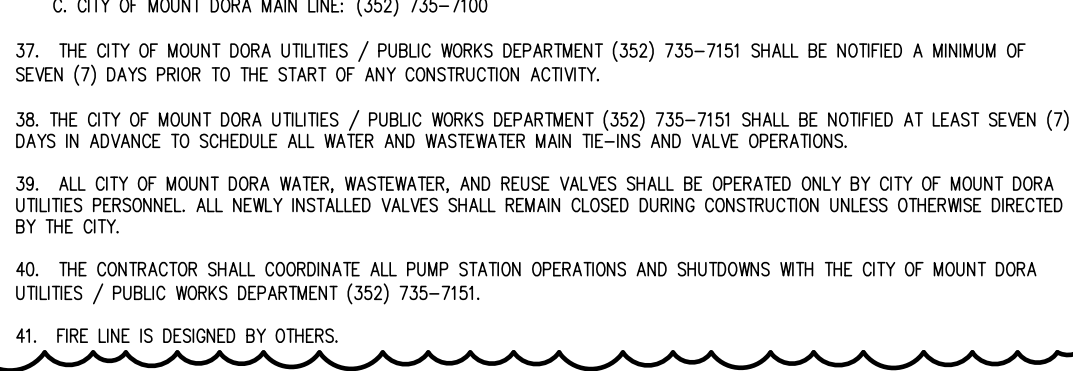
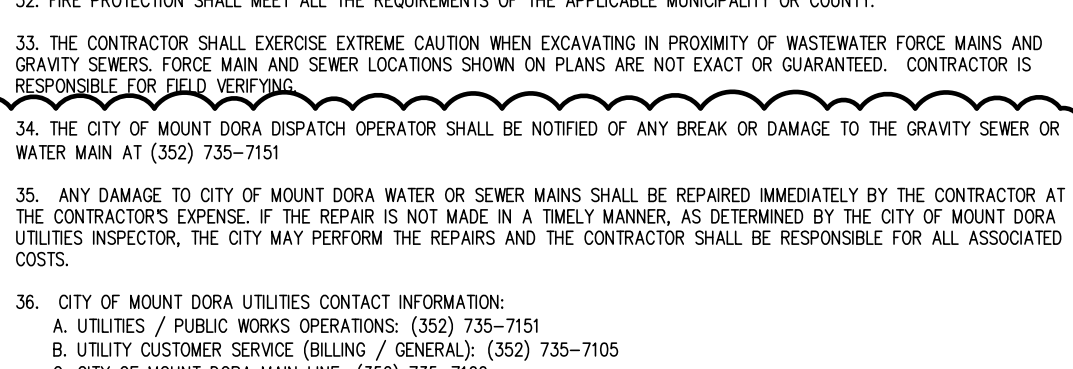
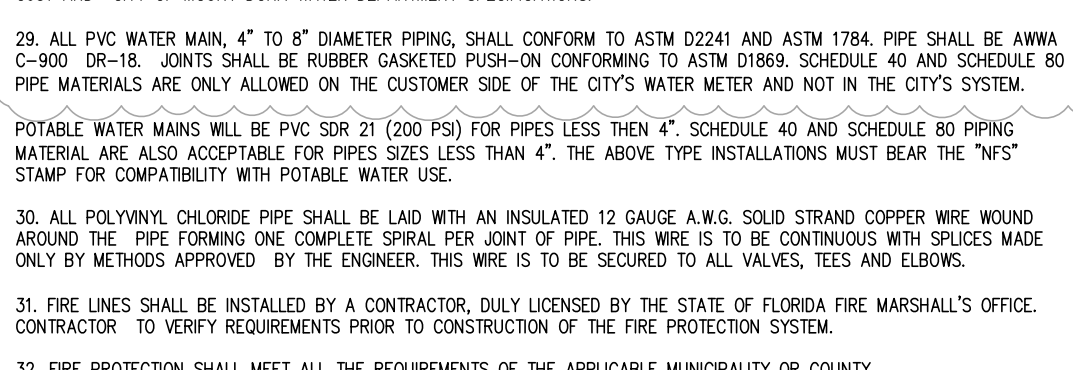
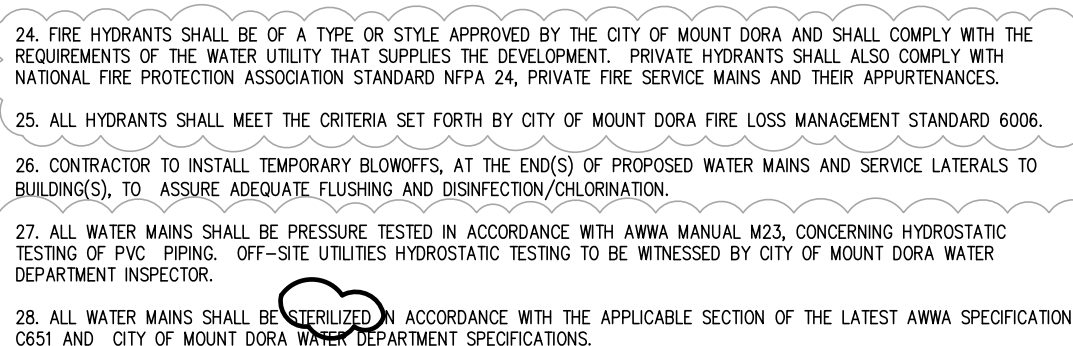
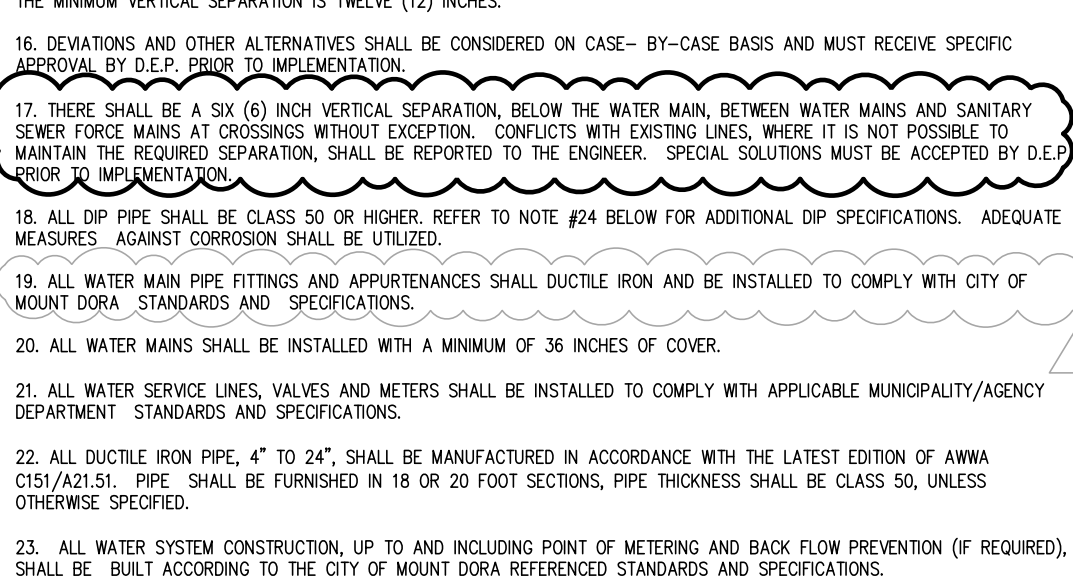
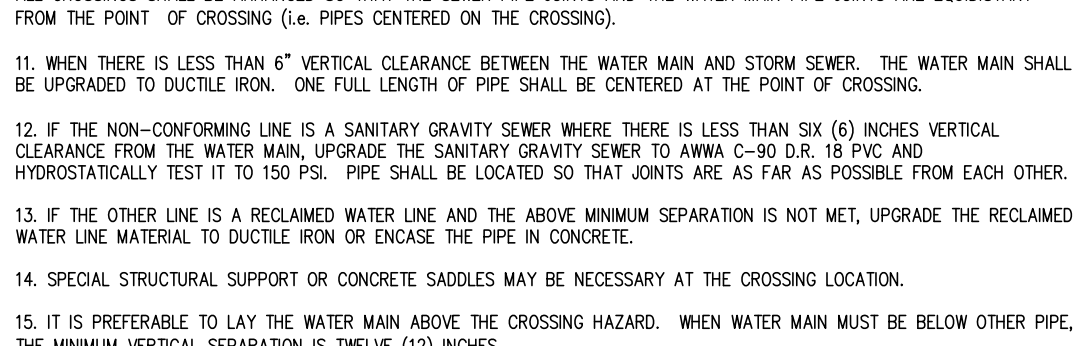
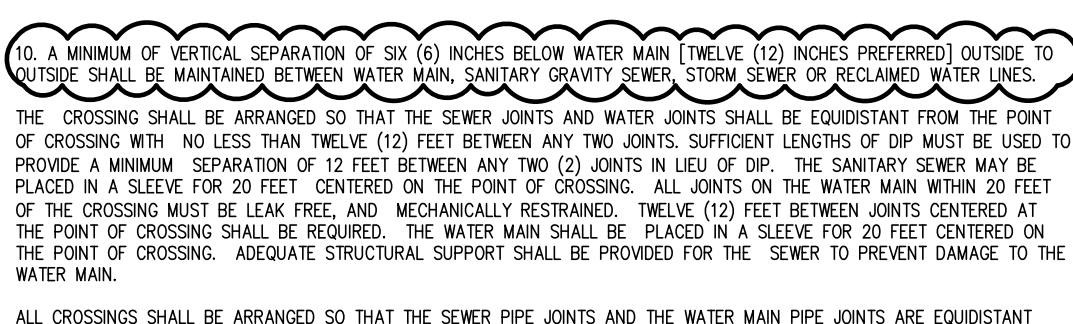
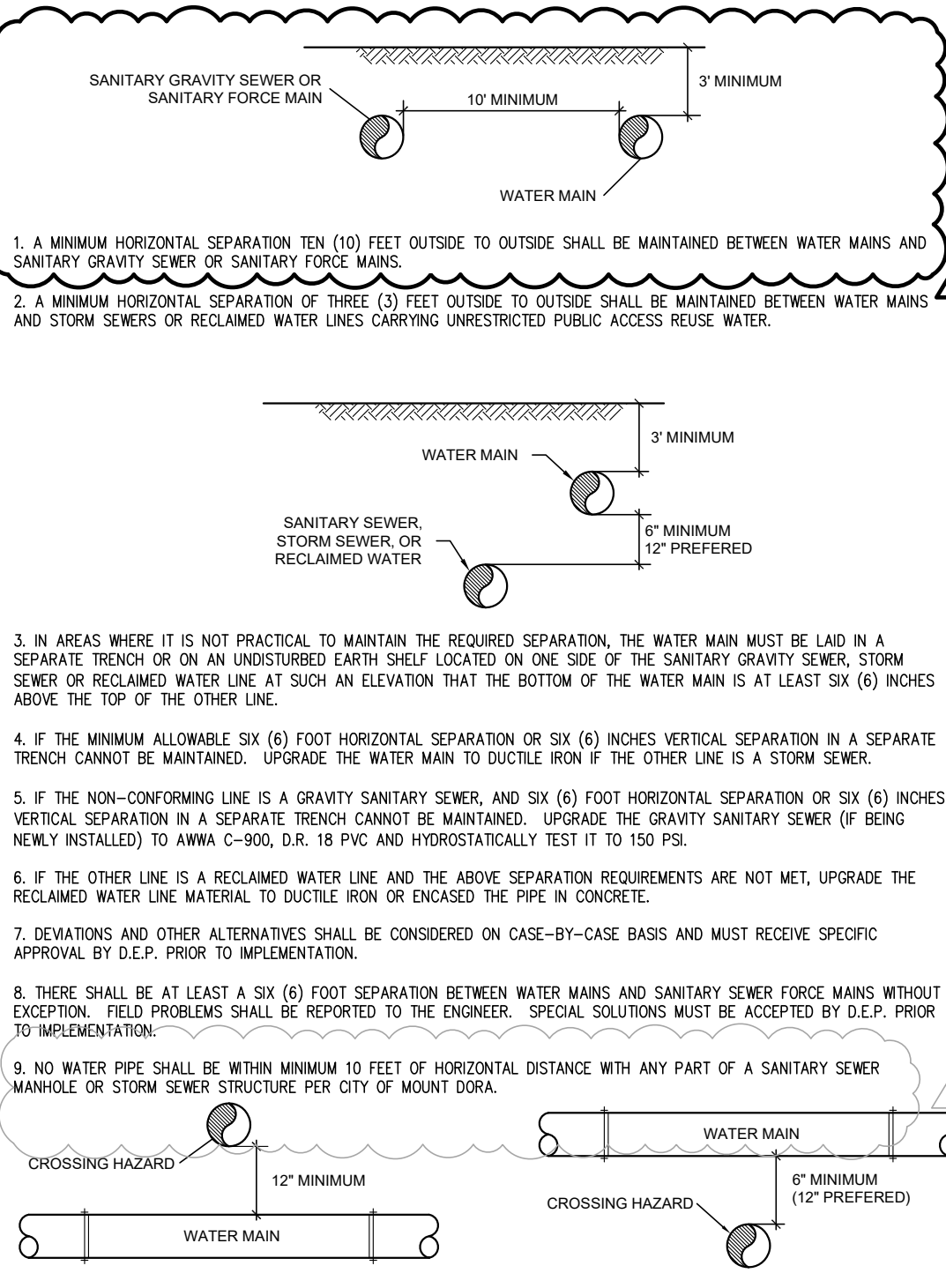
SANITARY SYSTEM NOTES:

- 1. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS SHOULD ALWAYS CROSS UNDERNEATH WATER MAINS. INSTALLATIONS OF SANITARY SEWERS, FORCE MAINS AND STORM SEWERS, AT CROSSINGS OF WATER MAINS, SHALL BE PERFORMED SO AS TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHENEVER POSSIBLE, THE CROSSING SHALL BE ARRANGED TO THAT THE SEWER JOINTS AND WATER JOINTS SHALL BE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE LEAK FREE, AND MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT THE CROSSINGS.
WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER WATER MAINS, THE CRITERIA FOR MINIMUM SEPARATION OF 18 INCHES BETWEEN LINES, AND 10 FEET BETWEEN JOINTS, CENTERED AT THE POINT OF CROSSING SHALL BE REQUIRED. THE WATER MAIN SHALL BE PLACED IN A SLEEVE FOR 20 FEET EITHER SIDE OF THE POINT OF CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (I.E. PIPES CENTERED ON THE CROSSING).
2. A MINIMUM TO FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER (INCLUDING FORCE MAINS) AND EXISTING OR PROPOSED WATER MAINS, IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. THE DISTANCE FOR SEPARATION SHALL BE MEASURED EDGE TO EDGE.
IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE INSTALLED IN A SEPARATE TRENCH, OR IN AN UNDISTURBED EARTH SHELF, LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN, AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE, AND WATER AND SEWER JOINTS SHALL BE STAGGERED.
THE WATER MAIN SHOULD ALWAYS BE LOCATED ABOVE THE SEWER JOINTS ON THE WATER MAIN SEWER OR RECLAIMED WATER LINE, AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST SIX (6) INCHES ABOVE THE TOP OF THE OTHER LINE.
3. IN AREAS WHERE IT IS NOT PRACTICAL TO MAINTAIN THE REQUIRED SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY GRAVITY SEWER, STORM SEWER OR RECLAIMED WATER LINE, AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST SIX (6) INCHES ABOVE THE TOP OF THE OTHER LINE.
4. IF THE MINIMUM ALLOWABLE SIX (6) FOOT HORIZONTAL SEPARATION OR SIX (6) INCHES VERTICAL SEPARATION IN A SEPARATE TRENCH CANNOT BE MAINTAINED, UPGRADE THE WATER MAIN TO DUCTILE IRON IF THE OTHER LINE IS A STORM SEWER.
5. IF THE NON-CONFORMING LINE IS A GRAVITY SANITARY SEWER AND SIX (6) FOOT HORIZONTAL SEPARATION OR SIX (6) INCHES VERTICAL SEPARATION IN A SEPARATE TRENCH CANNOT BE MAINTAINED, UPGRADE THE SANITARY SANITARY SEWER (IF BEING NEWLY INSTALLED) TO ANNA C-900, D.I.P. 18 PVC AND HYDROSTATICALLY TEST IT TO 150 PSI.
6. IF THE OTHER LINE IS A RECLAIMED WATER LINE AND THE ABOVE SEPARATION REQUIREMENTS ARE NOT MET, UPGRADE THE RECLAIMED WATER LINE MATERIAL TO DUCTILE IRON OR ENCASED THE PIPE IN CONCRETE.
7. DEVIATIONS AND OTHER ALTERNATIVES SHALL BE CONSIDERED ON CASE-BY-CASE BASIS AND MUST RECEIVE SPECIFIC APPROVAL BY D.E.P. PRIOR TO IMPLEMENTATION.
8. THERE SHALL BE AT LEAST A SIX (6) FOOT SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER FORCE MAINS WITHOUT EXCEPTION. FIELD PROBLEMS SHALL BE REPORTED TO THE ENGINEER. SPECIAL SOLUTIONS MUST BE ACCEPTED BY D.E.P. PRIOR TO IMPLEMENTATION.
9. NO STORM SEWER SHALL BE WITHIN MINIMUM 10 FEET OF HORIZONTAL DISTANCE WITH ANY PART OF A SANITARY SEWER MANHOLE OR STORM SEWER STRUCTURE PERM CITY OF MOUNT DORA.
10. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (I.E. PIPES CENTERED ON THE CROSSING).
11. SANITARY SEWER MAINS SHALL HAVE SUITABLE MAGNETIC LOCATOR TAPELS) BURIED AT LEAST 18 INCHES ABOVE THE MAIN LINES.
12. FORCE MAINS SHALL BE LAID WITH AN INSULATED 1/2 GAUGE A.W.G. SOLID STRAND COPPER WIRE WOUND AROUND THE PIPE
13. ON SITE WATERWATER COLLECTION SYSTEM AND PUMP STATION IS PRIVATELY OWNED AND MAINTAINED.
14. PLUG VALVE TO BE INSTALLED VERTICALLY AND TAPPING VALVE TO BE INSTALLED HORIZONTALLY AND ABANDONED IN THE OPEN POSITION.
15. ANY VARIANCE IN SEPARATION BETWEEN WATER AND SEWER WILL NEED TO BE APPROVED BY BOTH THE CITY AND FDP.

TESTING AND INSPECTION REQUIREMENTS (SANITARY):

- 1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER AND APPLICABLE MUNICIPALITY/AGENCY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 2 BUSINESS DAYS IN ADVANCE TO SCHEDULE INSPECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH A REVEALED INSPECTION (TV) OF THE PROPOSED GRAVITY SEWER LINE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE COPIES OF THE TV INSPECTION TAPE TO THE ENGINEER, THE OWNER AND THE APPLICABLE MUNICIPALITY/AGENCY.
2. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. THE SCHEDULING, COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
3. LEAKAGE TESTS ARE SPECIFIED REQUIRING THAT:
A. THE LEAKAGE EXFILTRATION OR INFILTRATION DOES NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM.
B. EXFILTRATION OR INFILTRATION TESTS BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET.
C. AIR TESTS, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C-508 FOR CLAY PIPE, ASTM C 304 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, AND FOR OTHER MATERIALS APPROPRIATE TEST PROCEDURES.
4. CONTRACTOR TO PERFORM APPROPRIATE DEFLECTION TESTS ON ALL FLEXIBLE PIPE. TESTING IS REQUIRED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. TESTING REQUIREMENTS SPECIFY:
A. NO PIPE SHALL EXCEED A DEFLECTION OF 5%.
B. USING A RIGID BALL OR MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THAN 50% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE, DEPENDING ON WHICH IS SPECIFIED IN THE ASTM SPECIFICATION, INCLUDING THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURED.
C. PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.
5. CONTRACTOR TO INSPECT & TEST MANHOLE FOR WATER-TIGHTNESS OR DAMAGE PRIOR TO PLACING INTO SERVICE. AIR TESTING, IF SPECIFIED FOR CONCRETE SEWER MANHOLES, SHALL CONFORM TO THE TEST PROCEDURES DESCRIBED IN ASTM C-1244.

WATER SYSTEM NOTES:



WATER SYSTEM NOTES CONTINUED:

- 43. WHERE APPLICABLE UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACKFILLED WITH GRANULAR MATERIAL IN TWELVE (12) LAYERS AND COMPACTED TO NINETY EIGHT PERCENT (98% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-190 MODIFIED PROCTOR.
44. ALL UNSUITABLE MATERIALS UNDER WATER PIPES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL COMPACTED TO NINETY-FIVE PERCENT (95% OF ITS MAXIMUM DENSITY AT TWO PERCENT (2.0%) MORE OR LESS OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557).
45. CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
46. A SON SHALL BE PLACED AT IRRIGATED AREAS WITH THE WORDS "IRRIGATION BY REUSE WATER. DO NOT DRINK".
47. CONTRACTOR SHALL NOTIFY THE CITY OF MOUNT DORA PUBLIC UTILITIES CONSTRUCTION DEPARTMENT 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION. PHONE (352) 735-7151
48. ALL UTILITIES CONSTRUCTION CONNECTING TO THE CITY OF MOUNT DORA SYSTEM SHALL CONFORM TO CITY OF MOUNT DORA MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION.
49. ALL UNDERGROUND MAINS SERVING FIRE HYDRANTS OR FIRE PROTECTION SYSTEMS ON PRIVATE PROPERTY MUST BE PERMITTED PRIOR TO INSTALLATION. THE DRAWING SHALL INDICATE THAT ALL UNDERGROUND PIPE MAINS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, LATEST EDITION, "STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES".

DEWATERING NOTES:

- 1. DURING THE EXCAVATION OF THE STORMWATER PONDS, THE CONTRACTOR MUST CONSTRUCT A SEDIMENT BASIN TO PROVIDE A DISCHARGE POINT FOR DEWATERING. THE SEDIMENT BASIN CAN BE SOIL IN THE PROPOSED EXCAVATION AREA OF A POND OR IT CAN BE ITS OWNED AREA ABOVE GROUND. ALL DEWATERING MUST BE HELD IN THE SEDIMENT AREA UNTIL THE WATER IS CLEAN SUCH THAT IT CAN BE REUSED OR DISCHARGED. AFTER THE WATER IN THE SEDIMENT BASIN IS CLEAN, THE WATER MAY BE RELEASED INTO THE ON-SITE WETLANDS PROVIDED THERE IS NO ADVERSE IMPACT TO THE EXISTING WATER QUALITY.
2. UNDER NO CIRCUMSTANCES WILL THE DISCHARGE FROM THE DEWATERING BE DIRECTLY INTO ON-SITE WETLAND AREAS OR NO DISCHARGE DIRECTLY OFF-SITE.
3. DURING THE EXCAVATION THE CONTRACTOR SHALL NOT PENETRATE AN EXISTING CLAY LAYER. IF THE CONTRACTOR ENCOUNTERS THE CLAY LAYER, HE/SHE IS TO PLACE A MINIMUM OF 2 FEET OF SANDY MATERIAL OVER THE CLAY AND TERMINATE THE DEPTH OF THE EXCAVATION.
4. IF THE CONTRACTOR ENCOUNTERS SILT/CLAY SAND, WHICH CAUSE THE WATER TO BECOME TURBID, HE/SHE SHALL TREAT THE SEDIMENT BASIN WITH CHEMICAL ADDITIVES SUCH AS ALLUM IN ORDER TO PROMOTE THE COAGULATION OF THE PARTICLES WHICH ALLOW THE TO SETTLE AND THE WATER TO BECOME CLEAR. IF TURBID WATER ENCOUNTERED DURING EXCAVATION OF THE PONDS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO DETERMINE THE APPROPRIATE ACTION THAT IS APPROPRIATE TO ELIMINATE THE TURBIDITY AND ALLOW DISCHARGE THAT MEET WATER QUALITY STANDARDS.
5. THE CONTRACTOR SHALL SEQUENCE THE EXCAVATION OF THE STORMWATER PONDS SUCH THAT SEDIMENT BASIN WITHIN THE EXCAVATION OF THE STORMWATER PONDS (AND ELEVATIONS) IS NECESSARY SUBJECT TO THE WATER WITHIN THE SEDIMENT BASIN BEING NON-TURBID AND ACCEPTABLE FOR DISCHARGE OFF-SITE.

BEST MANAGEMENT PRACTICES:

- THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF CITY OF MOUNT DORA DEVELOPMENT REGULATIONS AND S.W.M.D. THE PLAN ADDRESSES THE FOLLOWING AREAS:
1. GENERAL EROSION CONTROL.
2. PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION.
3. CONTROL OF WIND EROSION.
THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED IMPELTS. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FOOT NOTE #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION.

- 1. SWPP shall be prepared and submitted to the CITY OF MOUNT DORA FOR REVIEW/ APPROVAL PRIOR TO MOBILIZING TO THE SITE.
2. THE SWPPP AND THE PROJECT'S SEDIMENT AND EROSION CONTROL MAINTENANCE SHALL BE IN ACCORDANCE WITH FEDER, S.W.M.D. AND CITY REGULATIONS.
3. THE COR IS REQUIRED TO OBTAIN AND NOT FROM FDP FOR THIS PROJECT.
4. CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEEDMENTATION BARRIERS (SILTATION CURTAINS) TO PREVENT SILTATION OF ADJACENT PROPERTIES, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRIP MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
5. THE CONTRACTOR SHALL LIMIT THE DISCHARGE OF TURBID WATERS OFF-SITE, OR INTO ON-SITE/OFF-SITE WETLANDS (IF APPLICABLE), TO NO MORE THAN 50 JUTS (A JUTS/TURBIDITY UNITS) OR 29 INTU (NUTROPHIC/TURBIDITY UNITS), ABOVE BACKGROUND LEVELS.
6. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLER IRRIGATION OR OTHER ACCEPTABLE METHODS.
7. CONTRACTOR SHALL INSPECT AND MAINTAIN ON A DAILY BASIS ALL EROSION/SEEDMENTATION CONTROL FACILITIES.
8. THE CONTRACTOR SHALL INSURE THAT THE DEPTH OF SILTATION ALLOWED PRIOR TO REMOVAL IS ONE-FOURTH THE DEPTH OF THE BMP.
9. STAYED HAY BALES WILL NOT BE UTILIZED FOR EROSION, SEDIMENT AND TURBIDITY CONTROL.

- 1. GENERAL: ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION. DURING CONSTRUCTION, EXPOSED AREAS SHALL BE COVERED BY MULCHES SUCH AS STRAW AND FERTILIZER FABRIC. ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS. THESE SHALL BE MAINTAINED AND MOOPIED DURING THE CONSTRUCTION PROCESS TO MINIMIZE DOWNSTREAM SILTATION. WHEN CONSTRUCTION IS COMPLETED, RETENTION AREAS WILL BE RESEDED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SOODED TO PROPERLY DEFINE THE INTENDED STORM QUANTITIES.
2. PROTECTION AND STABILIZATION OF ON-SITE SOO STOCKPILES: FULL MATERIAL STOCKPILES SHALL BE PROTECTED AT ALL TIMES BY ON-SITE DRAINAGE CONTROLS WHICH PREVENT EROSION OF THE STOCKPILED MATERIAL. CONTROL OF DUST FROM SOO STOCKPILES MAY BE REQUIRED, DEPENDING UPON THEIR LOCATION AND THE EXPECTED LENGTH OF TIME THE STOCKPILES WILL BE PRESENT. IN NO CASE SHALL ANY UNSTOCKPILED MATERIAL REMAIN MORE THAN THIRTY (30) CALENDAR DAYS AFTER SUBSTANTIAL PROJECT COMPLETION.
3. PROTECTION OF EXISTING STORM SEWER SYSTEMS: DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SOO, STONE, ETC. WHICH SHALL BE MAINTAINED AND MOOPIED AS REQUIRED BY CONSTRUCTION PROGRESS, AND WHICH MUST BE APPROVED BY THE ENGINEER BEFORE INSTALLATION.
4. SEDIMENT BASINS AND TRAPS: SEDIMENT TRAPPING MEASURES: PERMIER BERMS, SEDIMENT BARRIERS, VEGETATIVE BUFFERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT AND/OR PREVENT THE TRANSPORT OF SEDIMENT ONTO ADJACENT PROPERTIES, OR INTO EXISTING BODIES OF WATER. THESE MEASURES SHALL BE MAINTAINED AND MOOPIED AS REQUIRED BY CONSTRUCTION PROGRESS, AND WHICH MUST BE APPROVED BY THE ENGINEER BEFORE INSTALLATION.
5. ALL SNAKES, BITESHS AND CHANNELS, CHANNELS LEADING FROM THE SITE SHALL BE SOODED WITH ARGENTINE BAHIA WITHIN THREE (3) DAYS OF EXCAVATION.
6. THE CONSTRUCTION OF UNDERGROUND UTILITY CONSTRUCTION, UNDERGROUND UTILITY LINES AND OTHER STRUCTURES SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
A. NOT MORE THAN 100 FEET OF TRENCH SHALL BE OPEN AREA OF PIPE LAYING OPERATIONS AT ONE TIME UNLESS A GREATER LENGTH OF OPEN TRENCH IS APPROVED BY THE OWNER'S ENGINEER.
B. WHEREVER CONSISTENT WITH SAFETY AND SPACE CONSIDERATION, EXCAVATED MATERIAL SHALL BE CAST TO THE USUAL SIDE OF TRENCHES. TRENCH MATERIAL SHALL NOT BE CAST INTO OR ONTO THE SLOPE OF ANY STREAM, CHANNEL, ROAD, DITCH OR WATERWAY.
7. ALL EROSION AND SILTATION CONTROL DEVICES SHALL BE MAINTENANCE. TO REQUIRE DAILY INSPECTIONS BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEEDMENT CONTROL EFFORTS. ANY NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY.
8. STAYED HAY BALES WILL NOT BE UTILIZED FOR EROSION, SEDIMENT AND TURBIDITY CONTROL.

SECTION 1 GENERAL EROSION CONTROL

- 1.1 GENERAL EROSION CONTROL BMPs SHALL BE EMPLOYED TO MINIMIZE SOO EROSION AND POTENTIAL POND SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION ACTIVITIES.
1.2 CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVER SEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY PRODUCTIONS.
1.3 SLOPES OF BANKS OF RETENTION/RETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN SIX-TWO (6:2) RATIO. JOINTS SHALL BE RUBBER GASKETED PUSH-IN CONFORMING TO ASTM D1689. SCHEDULE 40 AND SCHEDULE 80 PIPE MATERIALS ARE ONLY ALLOWED ON THE OUTSIDE SIDE OF THE CITY'S WATER MAIN AND NOT IN THE CITY'S SYSTEM.
PORTABLE WATER MAINS WILL BE PVC SDR 21 (200 PSI) FOR PIPES LESS THAN 4". SCHEDULE 40 AND SCHEDULE 80 PIPING MATERIAL ARE ALSO ACCEPTABLE FOR PIPES SIZES LESS THAN 4". ABOVE-TYPE INSTALLATIONS MUST BEAR THE "NS" STAMP FOR COMPATIBILITY WITH 4".
30. ALL POLYVINYL CHLORIDE PIPE SHALL BE LAID WITH AN INSULATED 1/2 GAUGE A.W.G. SOLID STRAND COPPER WIRE AROUND THE PIPE FORMING ONE COMPLETE SPIRAL PER JOINT OF PIPE. THIS WIRE IS TO BE CONTINUOUS WITH SPLICED MADE UP BY METHODS APPROVED BY THE ENGINEER. THIS WIRE IS TO BE SECURED TO ALL VALVES, TEES AND ELBOWS.
31. FIRE LINES SHALL BE INSTALLED BY A CONTRACTOR, DULY LICENSED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO CONSTRUCTION OF THE FIRE PROTECTION SYSTEM.
32. FIRE PROTECTION SHALL MEET ALL THE REQUIREMENTS OF THE APPLICABLE MUNICIPALITY OR COUNTY.
33. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WASTEWATER FORCE MAINS AND GRAVITY SEWERS. FORCE MAIN AND SEWER LOCATIONS SHOWN ON PLANS ARE NOT EXACT OR GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION.
34. THE CITY OF MOUNT DORA DISPATCH OPERATOR SHALL BE NOTIFIED OF ANY BREAK OR DAMAGE TO THE GRAVITY SEWER OR WATER MAIN AT (352) 735-7151
35. ANY DAMAGE TO CITY OF MOUNT DORA WATER OR SEWER MAINS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY THE CITY OF MOUNT DORA UTILITIES INSPECTOR, THE CITY MAY PERFORM THE REPAIRS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED COSTS.
36. CITY OF MOUNT DORA UTILITIES CONTACT INFORMATION:
A. UTILITIES / PUBLIC WORKS OPERATIONS: (352) 735-7151
B. UTILITY CUSTOMER SERVICES (BILLING / GENERAL): (352) 735-7105
C. CITY OF MOUNT DORA MAIN LINE: (352) 735-7100
37. THE CITY OF MOUNT DORA UTILITIES / PUBLIC WORKS DEPARTMENT (352) 735-7151 SHALL BE NOTIFIED A MINIMUM OF SEVEN (7) DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
38. THE CITY OF MOUNT DORA UTILITIES / PUBLIC WORKS DEPARTMENT (352) 735-7151 SHALL BE NOTIFIED AT LEAST SEVEN (7) DAYS IN ADVANCE TO SCHEDULE ALL WATER AND WASTEWATER MAIN TE-INS AND VALVE OPERATIONS.
39. ALL CITY OF MOUNT DORA WATER, WASTEWATER, AND REUSE VALVES SHALL BE OPERATED ONLY BY CITY OF MOUNT DORA UTILITIES PERSONNEL. ALL NEWLY INSTALLED VALVES SHALL REMAIN CLOSED DURING CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE CITY.
40. THE CONTRACTOR SHALL COORDINATE ALL PUMP STATION OPERATIONS AND SHUTDOWNS WITH THE CITY OF MOUNT DORA UTILITIES / PUBLIC WORKS DEPARTMENT (352) 735-7151.
41. FIRE LINE IS DESIGNED BY OTHERS.
42. ON-SITE WATER DISTRIBUTION SYSTEM IS PRIVATELY OWNED AND MAINTAINED.

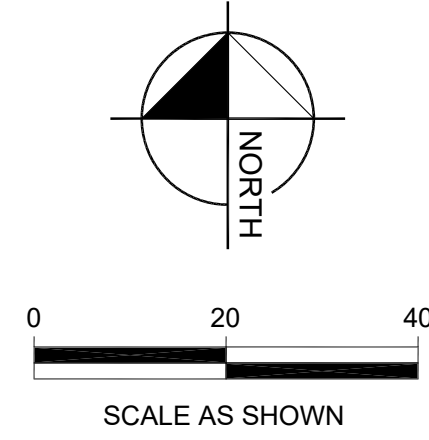
SECTION 2 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION:

- 2.1 SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMPs IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.
2.2 WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SNAKES.
2.3 EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIO

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NOTES

1. REFUSE AND WASTE REMOVAL AREAS, SERVICE YARDS, STORAGE YARDS, RECYCLING AREAS AND EXTERIOR WORK AREAS SHALL BE SCREENED FROM VIEW FROM PUBLIC WAYS, USING MATERIALS AS STATED IN CRITERIA FOR EQUIPMENT SCREENING.
2. MECHANICAL EQUIPMENT OR OTHER UTILITY HARDWARE ON ROOF, GROUND, OR BUILDINGS SHALL BE SCREENED FROM PUBLIC VIEW WITH MATERIALS HARMONIOUS WITH THE BUILDING, OR THEY SHALL BE LOCATED AS NOT TO BE VISIBLE FROM ANY PUBLIC WAYS
3. LOADING OR DOCKING, OUTDOOR STORAGE, TRASH COLLECTION, MECHANICAL EQUIPMENT, TRASH COMPACTION, VEHICULAR STORAGE, EXCLUDING NEW AND USED CARS, RECYCLING, ROOF TOP EQUIPMENT AND OTHER SERVICE FUNCTION AREAS SHALL BE FULLY SCREENED FROM ADJACENT PROPERTIES AND ROAD WAY CORRIDORS AT GROUND AND PEDESTRIAN LEVEL
4. DUMPSTER FACADE TO MATCH BUILDING COLOR SCHEME.



LEGEND

- PHASE 2
- PROPERTY LINE
- [Hatched Box] MILL AND RESURFACE EXISTING ASPHALT
- [Solid Grey Box] PROPOSED ASPHALT
- [Dotted Box] EXISTING CONCRETE
- [Hatched Box] PROPOSED ASPHALT

SITE DATA

PARCEL ID: 23-19-26-1000-000-00800
 PROJECT AREA: 2.35 ACRES (102,307 SF)
 EXISTING USE: ABANDONED MINIATURE GOLF SCHOOL
 PROPOSED USE: SCHOOL
 EXISTING ZONING: C-3 HIGHWAY COMMERCIAL

BUILDING SETBACKS REQUIRED

FRONT SETBACK	10'
SIDE SETBACK	25'
REAR SETBACK	50'

LANDSCAPE BUFFERS

FRONT BUFFER	10'
SIDE BUFFER	10'
REAR BUFFER	40'

REQUIRED PARKING SPACES (BOTH PHASES) PER ITE:
 ITE PARKING GENERATION MANUAL ASSESSES PRIVATE SCHOOLS (K-12) (536) AS AN AVERAGE RATE OF 0.35 PARKING SPACES PER STUDENT.

STUDENTS
 13 CLASS ROOMS 13 STUDENTS PER CLASS
 13x13 = 169x0.35 = 59.15 PARKING SPACES
 TOTAL REQUIRED PARKING IS 59

REQUIRED PARKING SPACES (BOTH PHASES) PER LDC:
 PER LAND DEVELOPMENT CODE (LDC) SECTION 6.5.2 (2)(7) SCHOOLS AND PUBLIC BUILDINGS AS 1 SPACE PER 4 SEATS IN THE MAIN AUDITORIUM OR PLACE OF ASSEMBLY

STUDENTS
 13 CLASS ROOMS 13 STUDENTS PER CLASS
 13x13 = 169 / 4 = 42 PARKING SPACES
 TOTAL REQUIRED PARKING IS 42

PARKING PROVIDED:

EXISTING STANDARD 90° PARKING:	36
EXISTING HANDICAP SPACES:	3
PROPOSED STANDARD 90° PARKING:	20
TOTAL SPACES PROVIDED:	59 SPACES

PREVIOUSLY PERMITTED IMPERVIOUS AREA:

IMPERVIOUS AREA:	0.85 AC (37,160 SF)
------------------	---------------------

PROPOSED IMPERVIOUS AREA:

EXISTING ASPHALT AREA:	0.48 AC (20,815 SF)
EXISTING CONCRETE (SIDEWALKS, ETC.):	0.03 AC (1,524 SF)
EXISTING BUILDING	0.03 AC (1,324 SF)
PROPOSED BUILDING- PHASE 1	0.09 AC (3,955 SF)
PROPOSED BUILDING- PHASE 2	0.02 AC (1,088 SF)
PROPOSED CONCRETE- PHASE 1	0.04 AC (1,783 SF)
PROPOSED CONCRETE- PHASE 2	0.004 AC (183 SF)
PROPOSED ASPHALT-PHASE 2	0.15 AC (6,627 SF)
TOTAL IMPERVIOUS AREA:	0.86 AC (37,299 SF)

PHASE 1 SUMMARY

PHASE 1 OF THE CONSTRUCTION PROJECT WILL INVOLVE THE CREATION OF A NEW 2-STORY 3,955 SQUARE FEET (PER FLOOR) BUILDING. ADDITIONALLY, IT WILL INCLUDE THE EXPANSION OF THE EXISTING 3 APPROVED CLASSROOMS BY ADDING 5 MORE CLASSROOMS. THIS EXPANSION WILL RESULT IN A TOTAL OF 8 CLASSROOMS, EACH CLASSROOM WILL ACCOMMODATE 13 STUDENTS.

ONSITE TRAFFIC STACKING

WE ESTIMATE THAT 21 CARS WILL BE STACKED, ON SITE, IN SINGLE ROW CONFIGURATION, WITH THE COORDINATION OF A MINIMUM 2 FACULTY MEMBERS DIRECTING TRAFFIC. THE AVERAGE LENGTH OF CAR USE IS 14.7' WITH A MINIMUM DISTANCE OF 3' BETWEEN CARS.

STUDENTS

8 CLASS ROOMS 13 STUDENTS PER CLASS
 8x13 = 104 (1 STUDENT PER CAR)

PHASE 2 SUMMARY

PHASE 2 OF THE CONSTRUCTION PROJECT WILL INVOLVE THE CREATION OF A 1,088 SQUARE FOOT BUILDING ADDITION BRINGING THE TOTAL NUMBER OF CLASSROOMS TO 13, EACH CLASSROOM WILL ACCOMMODATE 13 STUDENTS.

ONSITE TRAFFIC STACKING

WE ESTIMATE THAT 27 CARS WILL BE STACKED, ON SITE, IN SINGLE ROW CONFIGURATION, WITH THE COORDINATION OF A MINIMUM 2 FACULTY MEMBERS DIRECTING TRAFFIC. THE AVERAGE LENGTH OF CAR USE IS 14.7' WITH A MINIMUM DISTANCE OF 3' BETWEEN CARS.

STUDENTS

13 CLASS ROOMS 13 STUDENTS PER CLASS
 13x13 = 169 (1 STUDENT PER CAR)

DROP OFF TIMES

BEFORE CARE DROP OFF TIMES *
 ALL GRADE LEVELS 7:15 AM- 8:00 AM

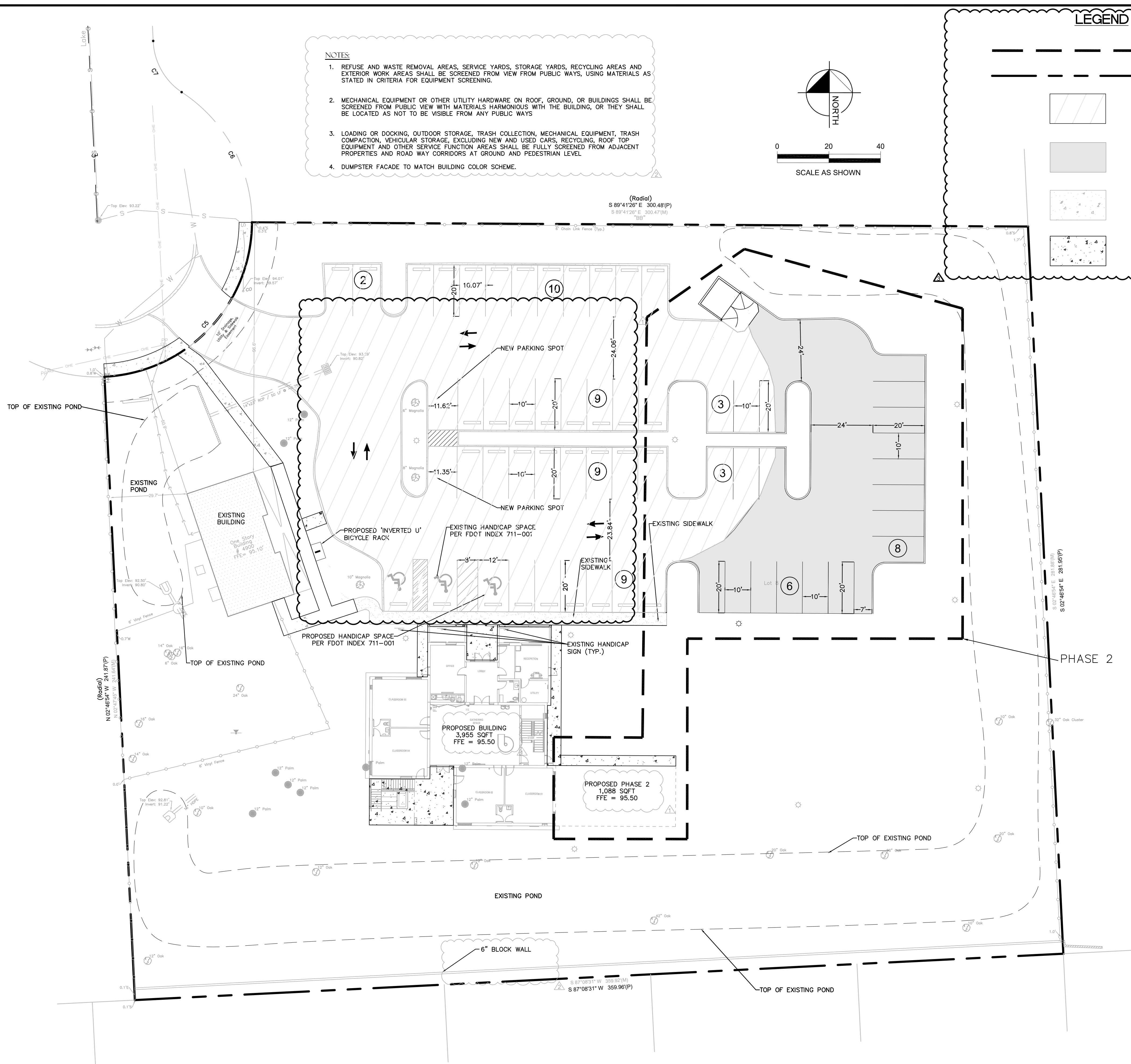
DROP OFF TIMES PER GRADE LEVEL
 K-5 DROP OFF 8:00-8:30 am
 6+ DROP OFF 8:15-8:45 am

PICK UP TIMES

AFTER CARE PICK UP TIMES *
 ALL GRADE LEVELS UNTIL 6:00 PM

PICK UP TIMES PER GRADE LEVEL
 K-5 PICKUP 2:45 pm
 6+ PICKUP 3:00 pm

* THIS SIGNIFICANTLY REDUCES TRAFFIC CONGESTION DURING THE TIMES OF STUDENT DROP-OFF AND PICK-UP SINCE NEARLY HALF OF THE STUDENTS MAKE USE OF ONE OR BOTH OF THESE SERVICES.



REVISIONS	DATE	BY

LN ENGINEERING & DESIGN, INC.
 P.O. BOX 140024
 ORLANDO, FL 32814
 PHONE: 407-776-5194
 clin@lneengineering.com
 CALIC. NO. 31710

DESIGN ENGINEER: CHAD S. LINN
 FLORIDA REGISTRATION NUMBER: 57524
 SEAL

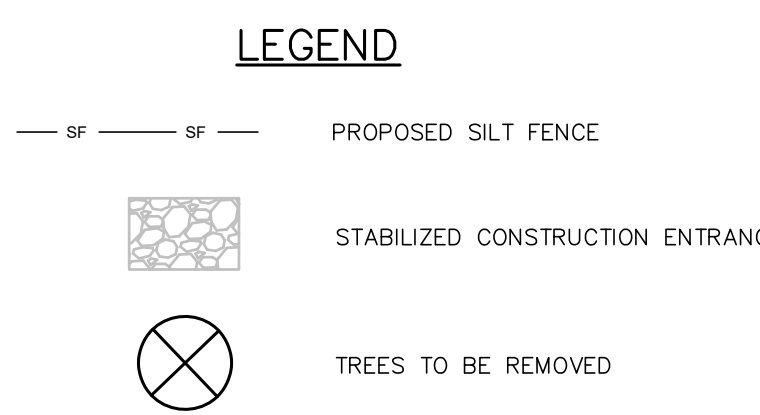
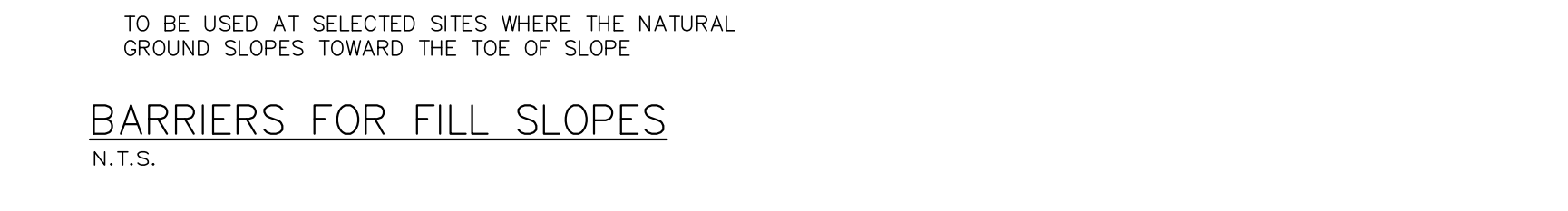
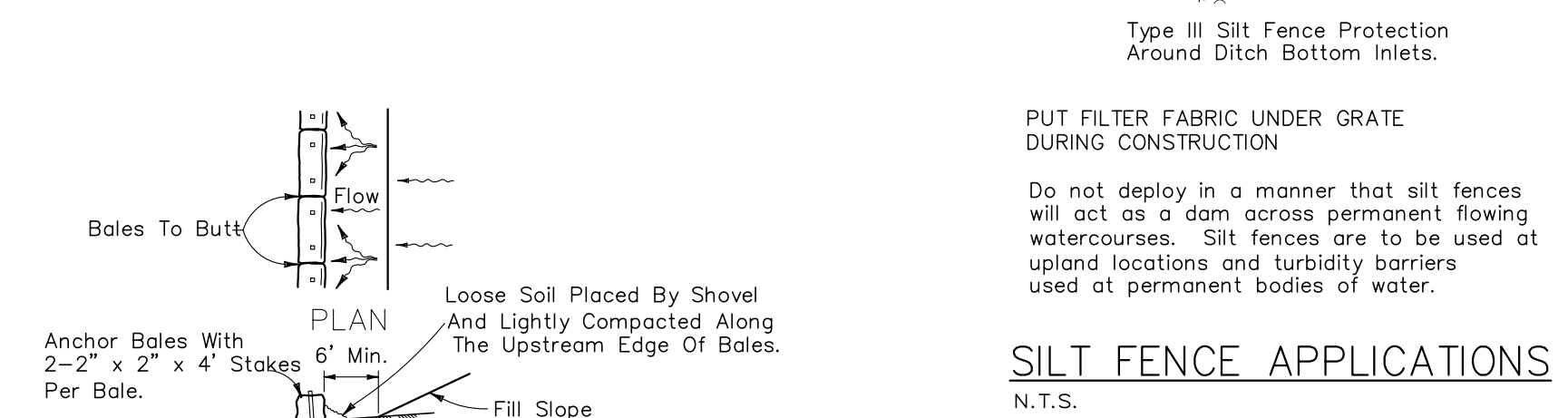
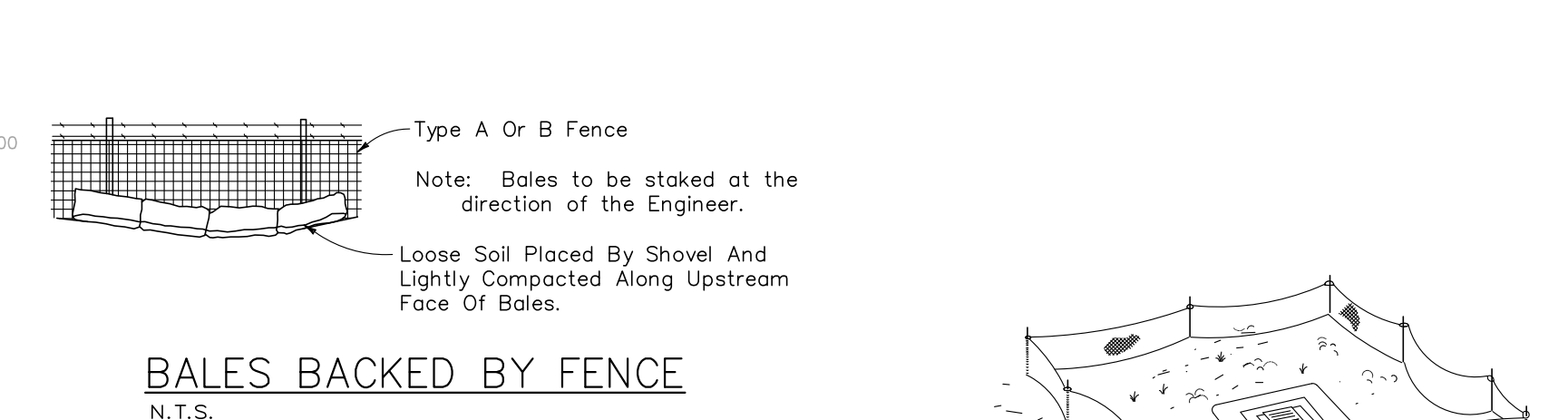
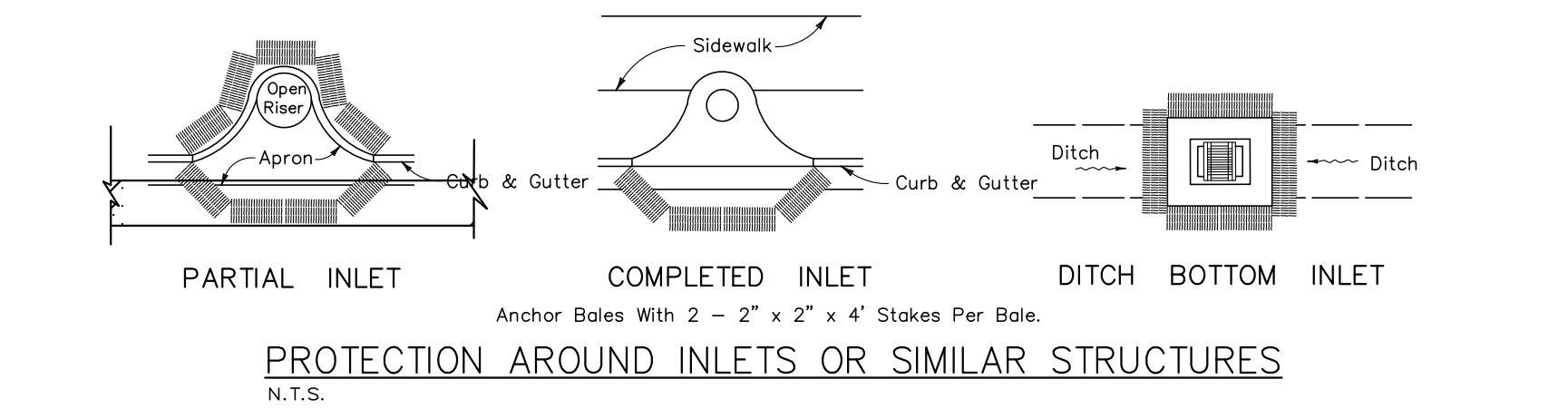
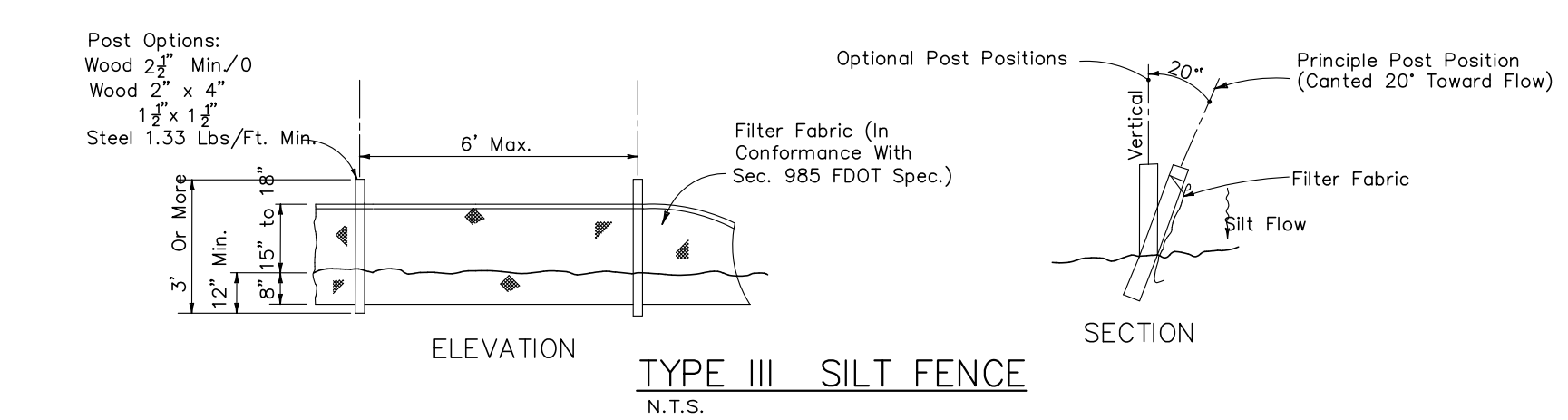
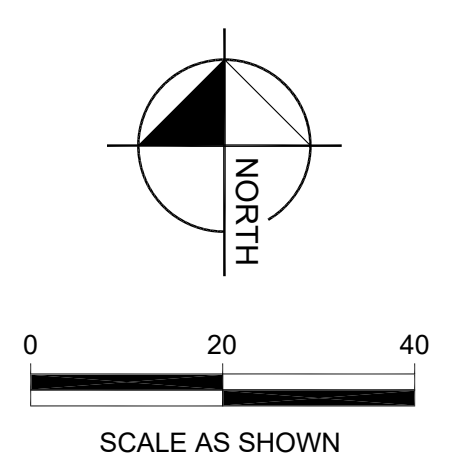
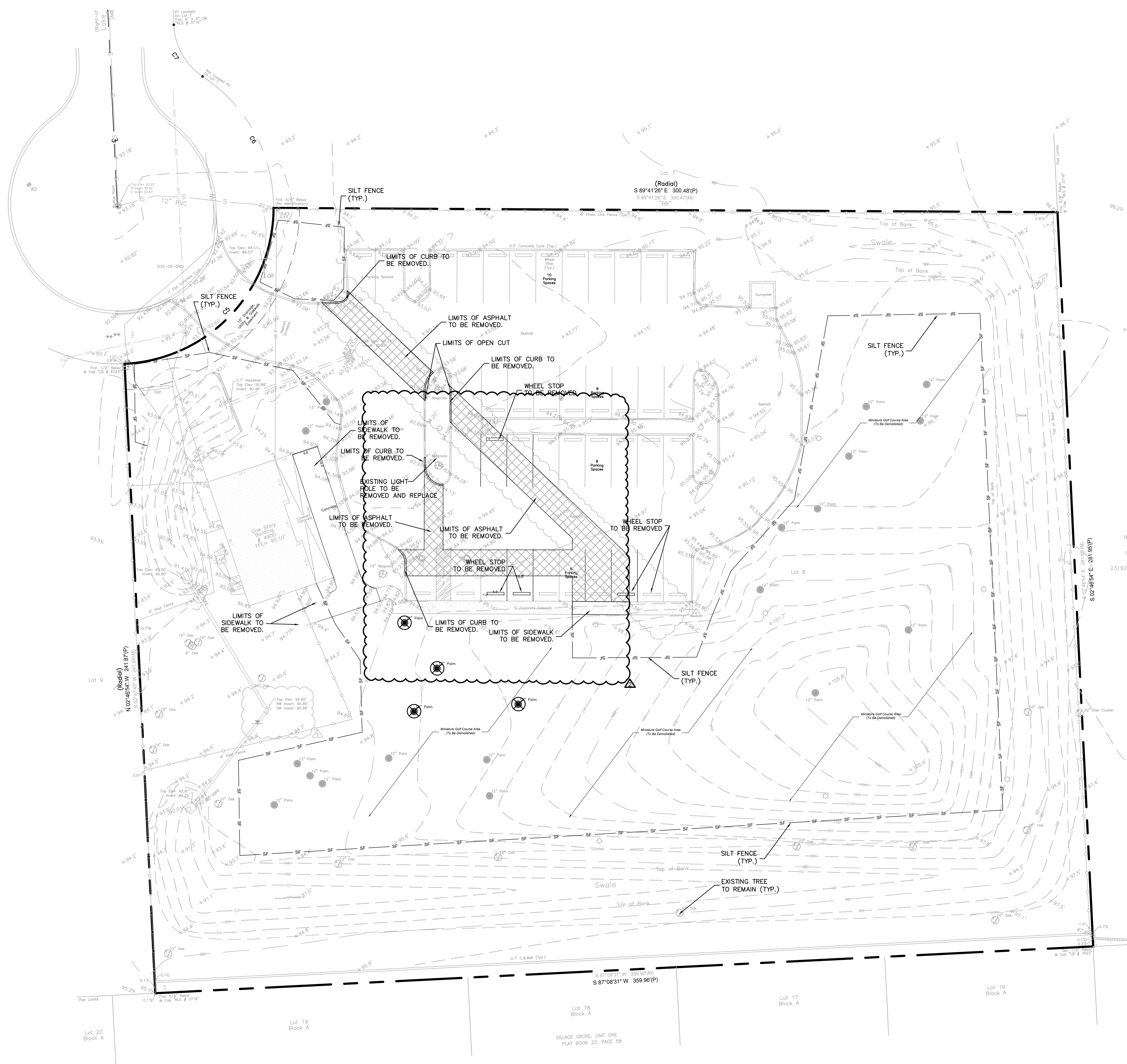
SCALE: NOTED
 DESIGNED BY: DAH
 DRAWN BY: DAH
 CHECKED BY: DAH

PHASING SITE PLAN

CREATE CONSERVATORY
 4900 LAKE PARK CT
 MT DORA FLORIDA 32757
 FLORIDA
 MT DORA

DATE: 07/23
 PROJECT NO.: 80900-23-100
 SHEET NUMBER: C03

Drawing name: Z:\Projects\80900 - Create Conservatory\23-100 4900 Lake Park CT\Cadd-Civil\04 - Create Conservatory Demo.dwg c04.dwg by: Doug Feb 17, 2026 2:07pm



NO.	REVISIONS	DATE	BY
1	REVISION PER CITY COMMENTS	6/2024	SAT
2	REVISION PER CITY COMMENTS	5/2025	SAT
3	REVISION PER CITY COMMENTS	9/2025	SAT

LN ENGINEERING & DESIGN, INC.
P.O. BOX 140024
ORLANDO, FL 32814
PHONE: 407-775-5194
clinn@lneengineering.com
CALIF. NO. 31710

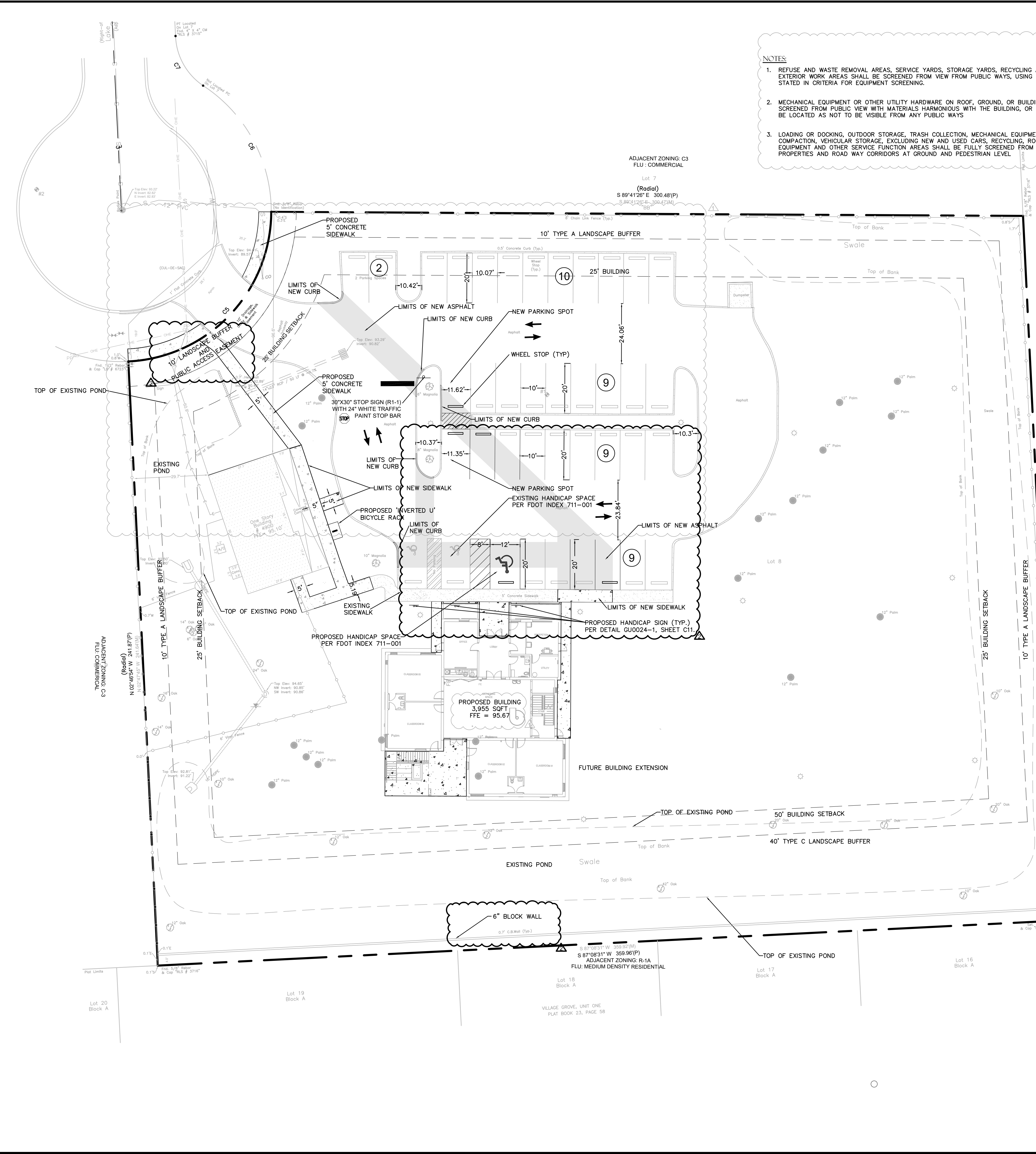
DESIGN ENGINEER: CHAD S. JINN
FLORIDA REGISTRATION NUMBER: 57524
SCALE: NOTED
DESIGNED BY DAH
DRAWN BY DAH
CHECKED BY DAH

EXISTING CONDITIONS AND DEMOLITION PLAN

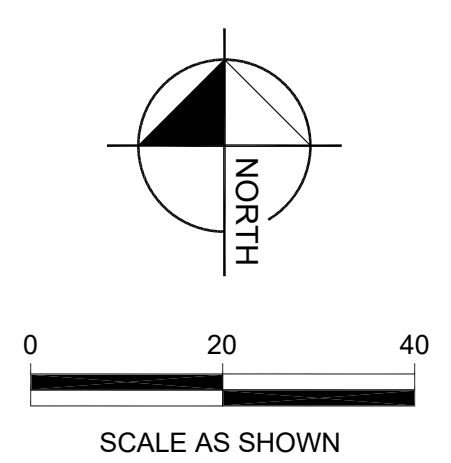
CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757

DATE: 07/23
PROJECT NO.: 80900-23-100
SHEET NUMBER: C04

Drawing name: Z:\Projects\80900 - Create Conservatory\23-100 4900 Lake Park CT\Cadd-Civil\005 - Create Conservatory Site Plan.dwg by: Doug Feb 17, 2026 2:08pm



- NOTES**
- REFUSE AND WASTE REMOVAL AREAS, SERVICE YARDS, STORAGE YARDS, RECYCLING AREAS AND EXTERIOR WORK AREAS SHALL BE SCREENED FROM VIEW FROM PUBLIC WAYS, USING MATERIALS AS STATED IN CRITERIA FOR EQUIPMENT SCREENING.
 - MECHANICAL EQUIPMENT OR OTHER UTILITY HARDWARE ON ROOF, GROUND, OR BUILDINGS SHALL BE SCREENED FROM PUBLIC VIEW WITH MATERIALS HARMONIOUS WITH THE BUILDING, OR THEY SHALL BE LOCATED AS NOT TO BE VISIBLE FROM ANY PUBLIC WAYS
 - LOADING OR DOCKING, OUTDOOR STORAGE, TRASH COLLECTION, MECHANICAL EQUIPMENT, TRASH COMPACTION, VEHICULAR STORAGE, EXCLUDING NEW AND USED CARS, RECYCLING, ROOF TOP EQUIPMENT AND OTHER SERVICE FUNCTION AREAS SHALL BE FULLY SCREENED FROM ADJACENT PROPERTIES AND ROAD WAY CORRIDORS AT GROUND AND PEDESTRIAN LEVEL



SITE DATA

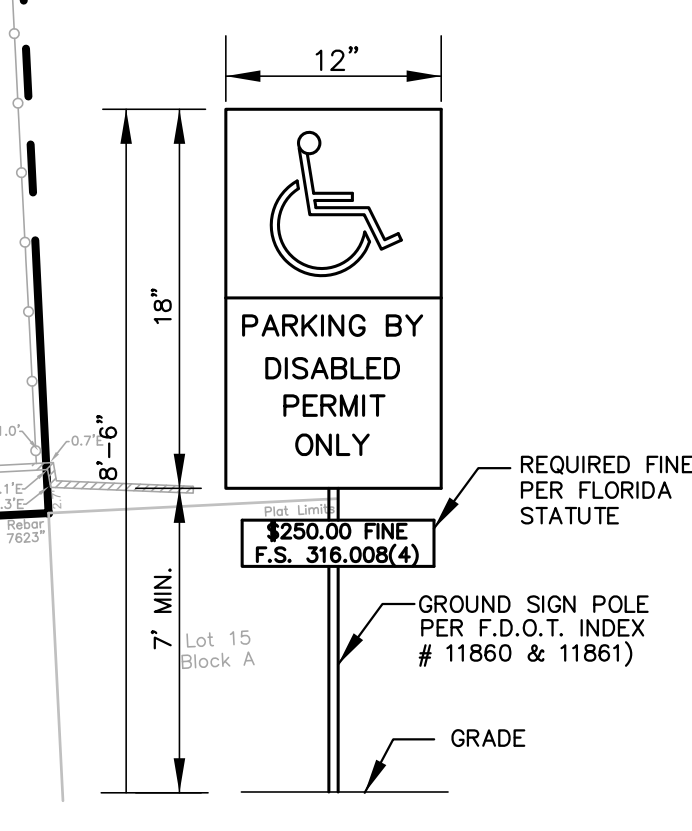
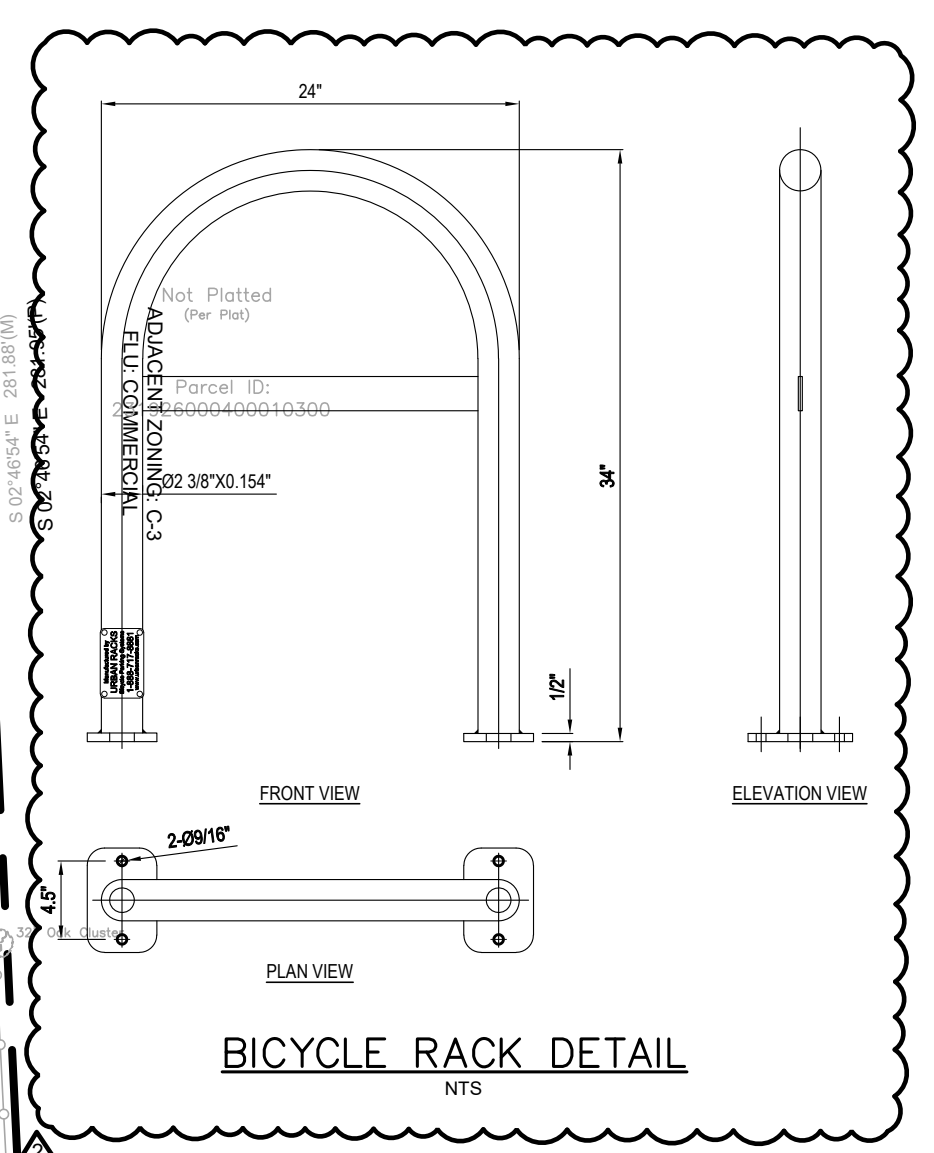
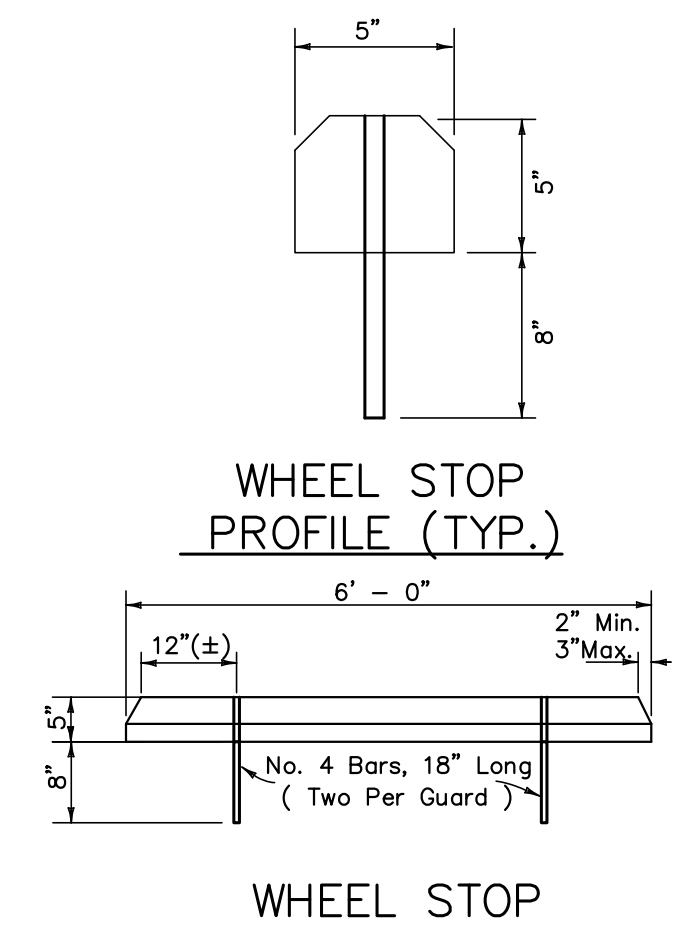
PARCEL ID:	23-19-26-1000-000-00800
PROJECT AREA:	2.35 ACRES (102,307 SF)
EXISTING USE:	ABANDONED MINIATURE GOLF SCHOOL
PROPOSED USE:	C-3 HIGHWAY COMMERCIAL
EXISTING ZONING:	C-3 HIGHWAY COMMERCIAL
MAX BUILDING HEIGHT:	65'
PROPOSED BUILDING HEIGHT:	24'
MAX FLOOR AREA RATIO:	0.35
PROPOSED FLOOR AREA RATIO:	0.077
MAX ALLOWABLE IMPERVIOUS AREA:	65%

BUILDING SETBACKS

FRONT SETBACK	10'
SIDE SETBACK	25'
REAR SETBACK	50'

LANDSCAPE BUFFERS

FRONT BUFFER	10'
SIDE BUFFER	10'
REAR BUFFER	40'



- NOTE:**
- ALL LETTERS ARE 1" SERIES "C" PER MUTCD.
 - TOP PORTION OF SIGN SHALL HAVE (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH WHITE OPAQUE LEGEND AND BORDER.
 - FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
 - INSTALLATION HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

REQUIRED PARKING SPACES:
ITE PARKING GENERATION MANUAL ASSUMES PRIVATE SCHOOLS (K-12) (536) AS AN AVERAGE RATE OF 0.35 PARKING SPACES PER STUDENT.

STUDENTS
8 CLASS ROOMS 13 STUDENTS PER CLASS
8x13 = 104x0.35 = 36.4 PARKING SPACES
TOTAL REQUIRED PARKING IS 36

REQUIRED PARKING SPACES:
PER LAND DEVELOPMENT CODE (LDC) SECTION 6.5.2 (2)(7) SCHOOLS AND PUBLIC BUILDINGS AS 1 SPACE PER 4 SEATS IN THE MAIN AUDITORIUM OR PLACE OF ASSEMBLY

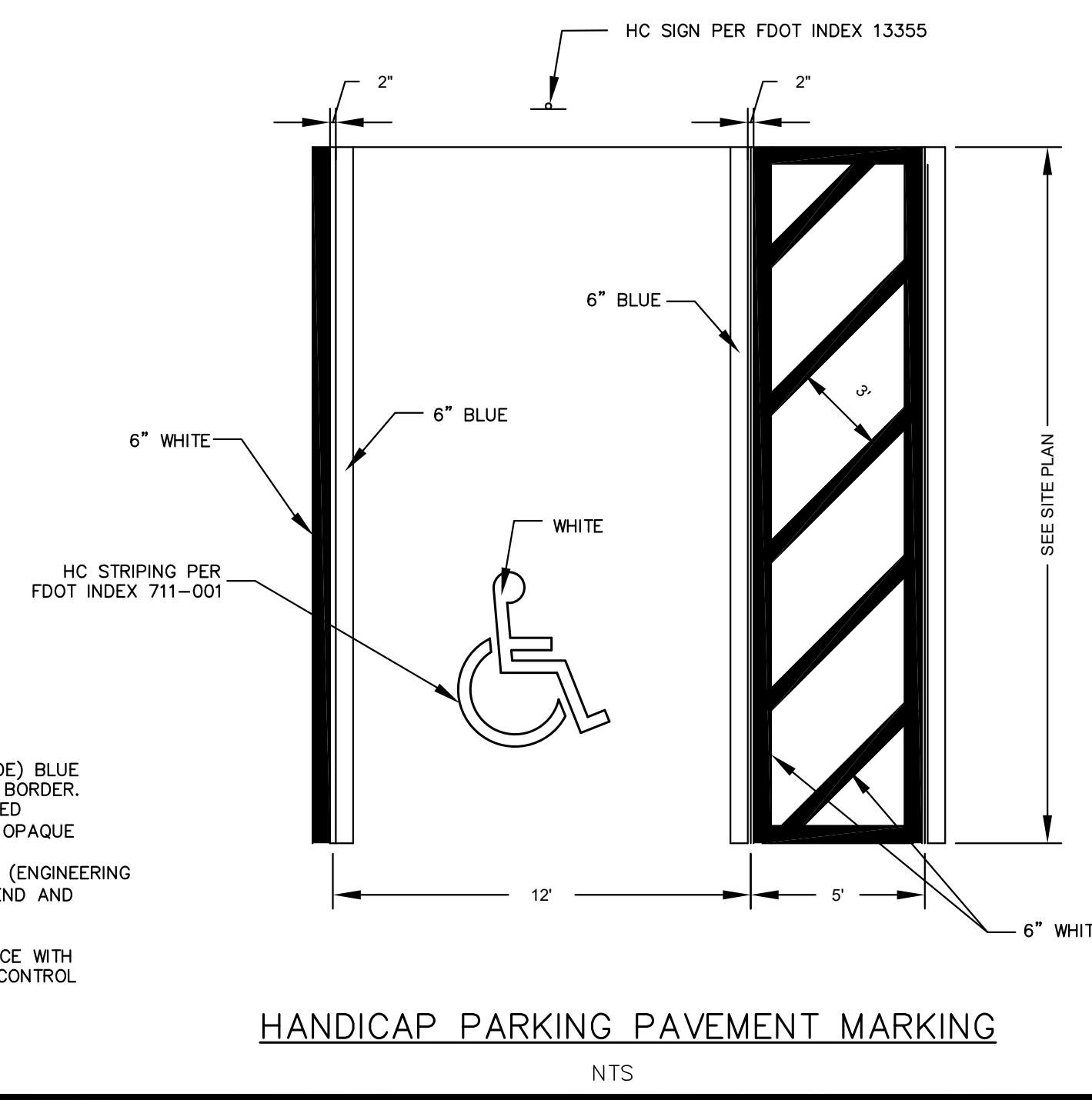
STUDENTS
8 CLASS ROOMS 13 STUDENTS PER CLASS
8x13 = 104 / 4 = 26 PARKING SPACES
TOTAL REQUIRED PARKING IS 26

PARKING PROVIDED:
EXISTING STANDARD 90° PARKING: 36
EXISTING HANDICAP SPACES: 2
PROPOSED HANDICAP SPACES: 1
TOTAL SPACES PROVIDED: 39 SPACES

REQUIRED BICYCLE PARKING:
PER LAND DEVELOPMENT CODE (LDC) SECTION 6.5.11 (6) BICYCLE SPACES SHALL BE PROVIDED EQUAL TO 3% OF PARKING SPACES REQUIRED
36 PARKING SPACES REQUIRED
36x0.05 = 1.8 BICYCLE SPACES
TOTAL REQUIRED BICYCLE SPACES IS 2
TOTAL PROVIDED BICYCLE SPACES IS 2

PREVIOUSLY PERMITTED IMPERVIOUS AREA:
IMPERVIOUS AREA: 0.85 AC AC (37,160 SF)

PROPOSED IMPERVIOUS AREA:
ASPHALT AREA: 0.48 AC (20,815 SF)
EXISTING CONCRETE (SIDEWALKS, ETC.): 0.03 AC (1,524 SF)
EXISTING BUILDING: 0.03 AC (1,324 SF)
PROPOSED BUILDING (PHASE 1): 0.09 AC (3,955 SF)
PROPOSED CONCRETE (PHASE 1): 0.04 AC (1,783 SF)
TOTAL IMPERVIOUS AREA: 0.67 AC (29,401 SF) 27.50%
• REDUCTION IN IMPERVIOUS AREA OF 0.18 AC



REVISIONS	DATE	BY					
1	6/2024	SAT					
2	5/2025	SAT					
3	9/2025	SAT					

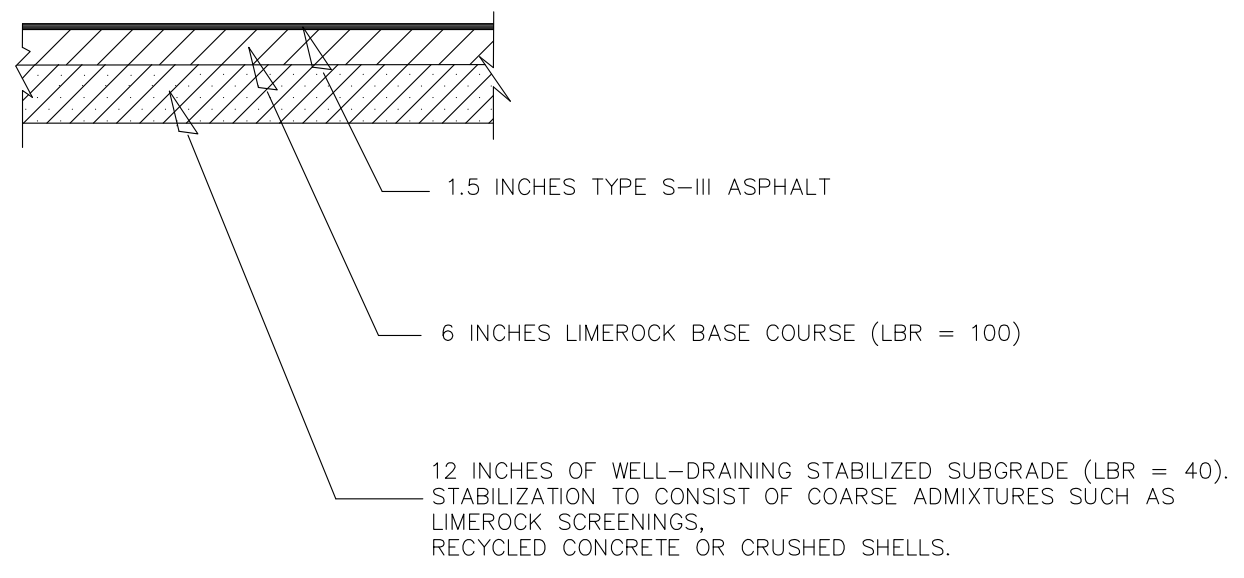
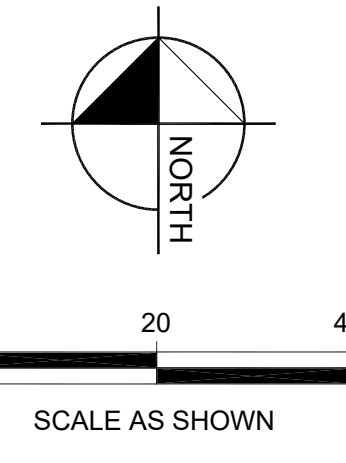
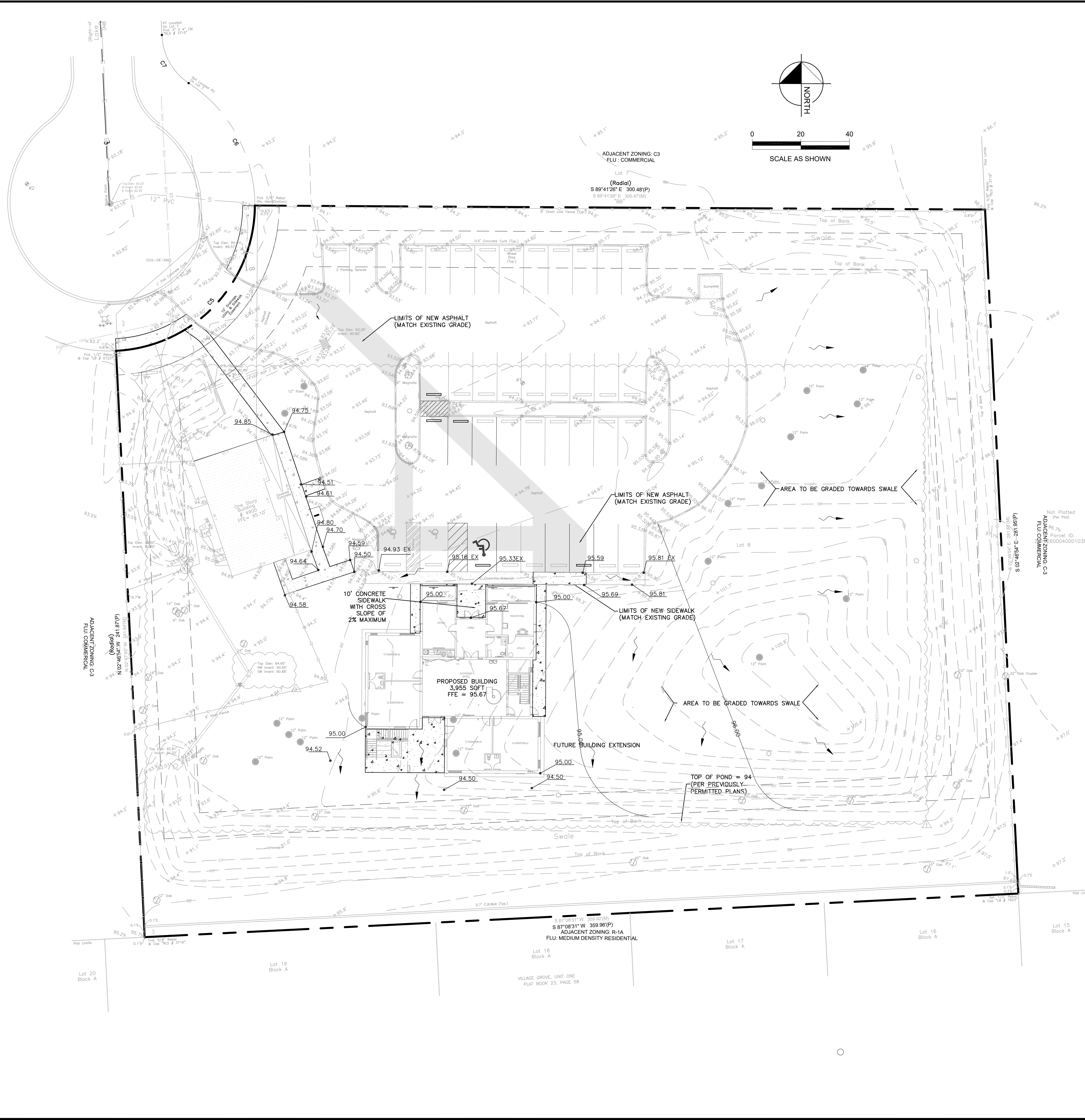
LN ENGINEERING & DESIGN, INC. P.O. BOX 140024 ORLANDO, FL 32814 PHONE: 407-775-5194 clin@linengineering.com CALIC. NO. 31710	DESIGN ENGINEER: CHAD S. LINN FLORIDA REGISTRATION NUMBER: 57524 SEAL
--	---

SITE PLAN

SCALE: NOTED DESIGNED BY DAH DRAWN BY DAH CHECKED BY DAH	FLORIDA CREATE CONSERVATORY 4900 LAKE PARK CT MT DORA FLORIDA 32757 MT DORA
---	---

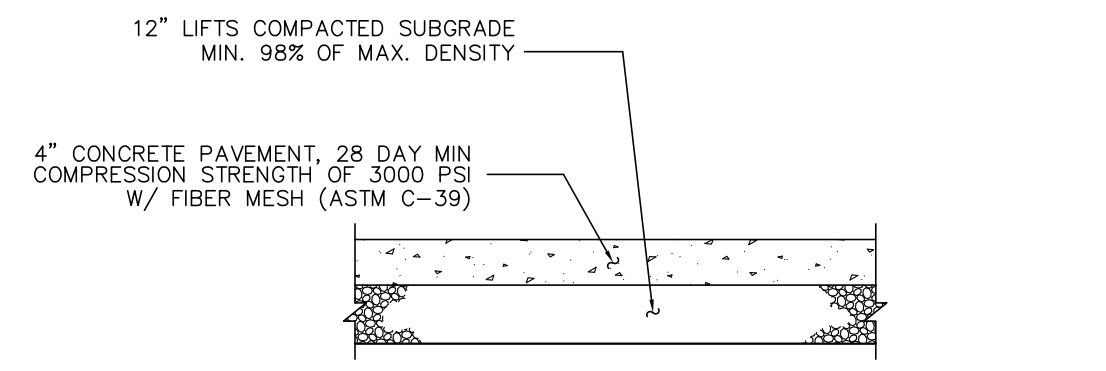
DATE 07/23	PROJECT NO. 80900-23-100
SHEET NUMBER C05	

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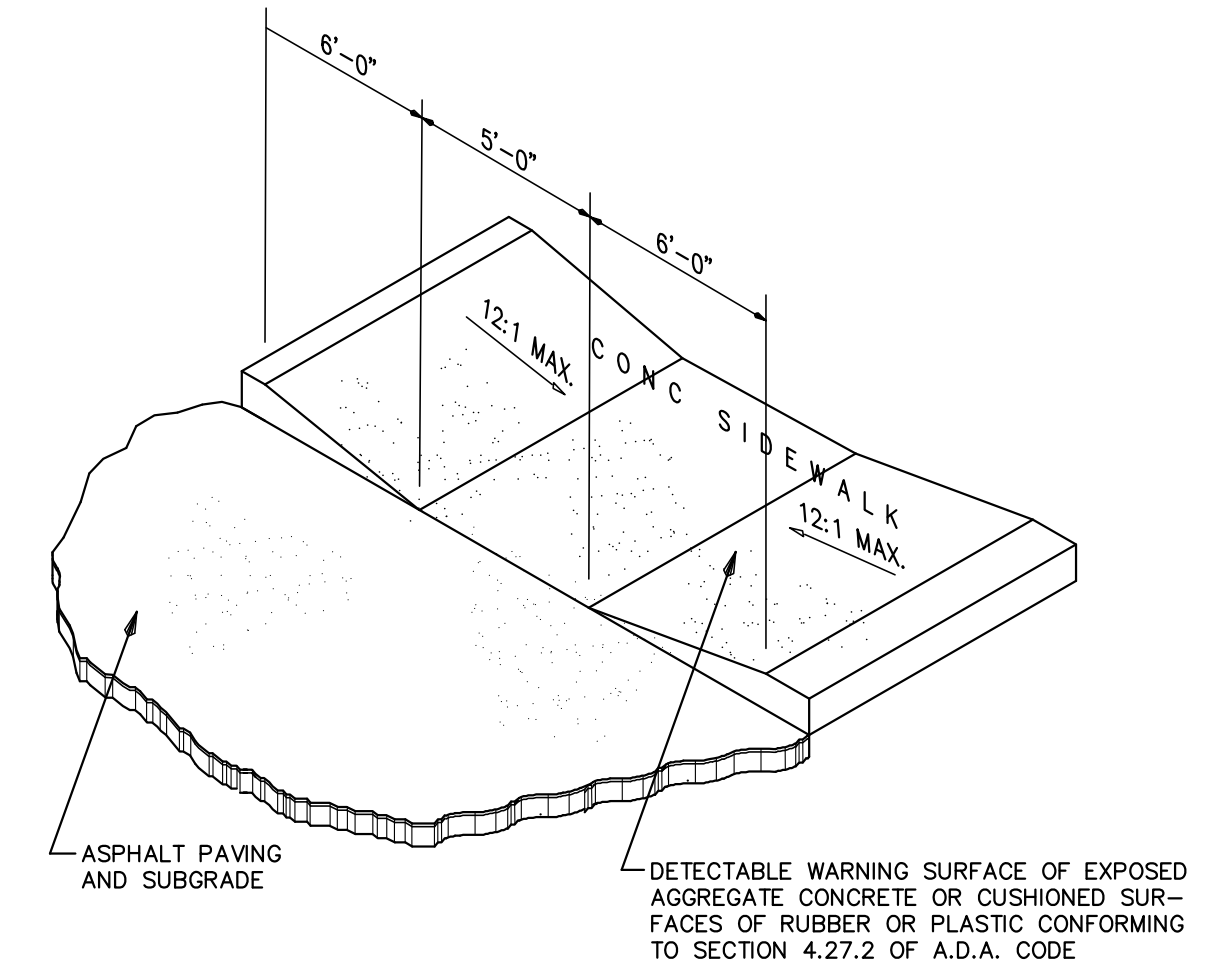


ON SITE TYPICAL LIGHT DUTY PAVEMENT SECTION
N.T.S.

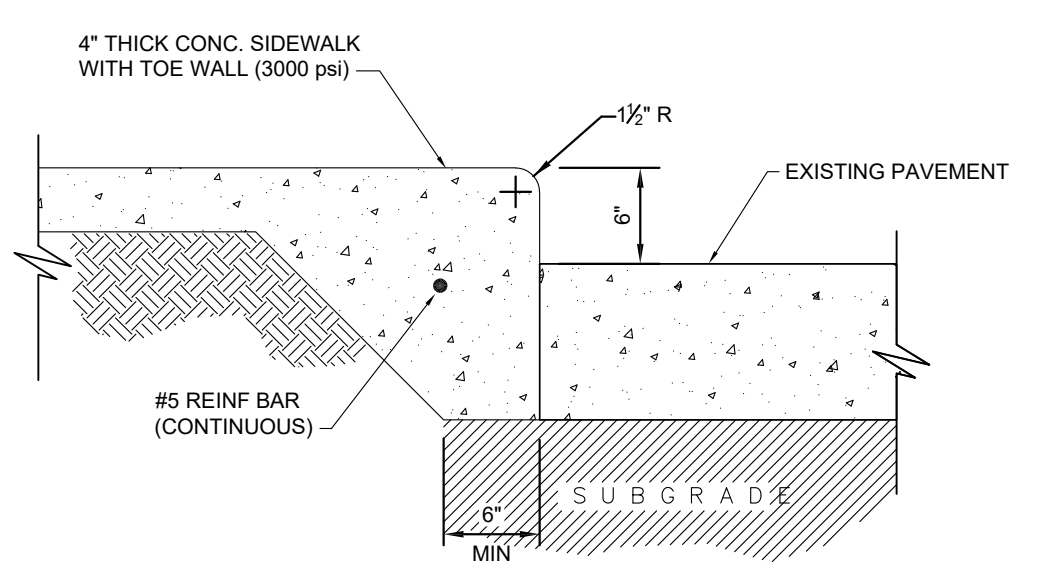
*REFER TO FDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) FOR DENSITY REQUIREMENTS OF ABOVE MATERIALS.
*REFER TO GEOTECHNICAL REPORT FOR PAVEMENT RECOMMENDATIONS AND LETTER STATING IT MEETS OSCEOLA COUNTY'S ROADWAY CONSTRUCTION SPECIFICATIONS.



CONCRETE SIDEWALK DETAIL ON SITE
N.T.S.



HANDICAP SIDEWALK RAMP



SIDEWALK/CURB
N.T.S.

NO.	REVISIONS	DATE	BY
1	REVISION PER CITY COMMENTS	6/2024	SAT
2	REVISION PER CITY COMMENTS	5/2025	SAT
3	REVISION PER CITY COMMENTS	9/2025	SAT

LIN ENGINEERING & DESIGN, INC.
P.O. BOX 140024
ORLANDO, FL 32814
PHONE: 407-775-5194
clin@linengineering.com
CA LIC. NO. 31710

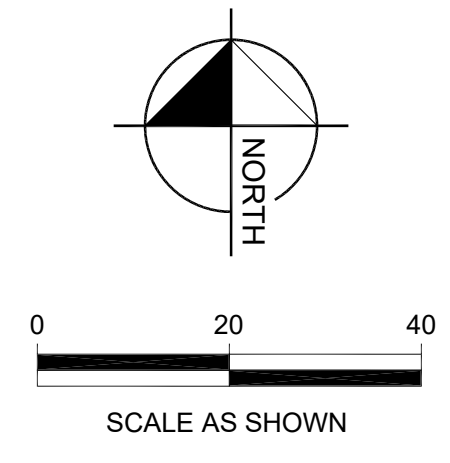
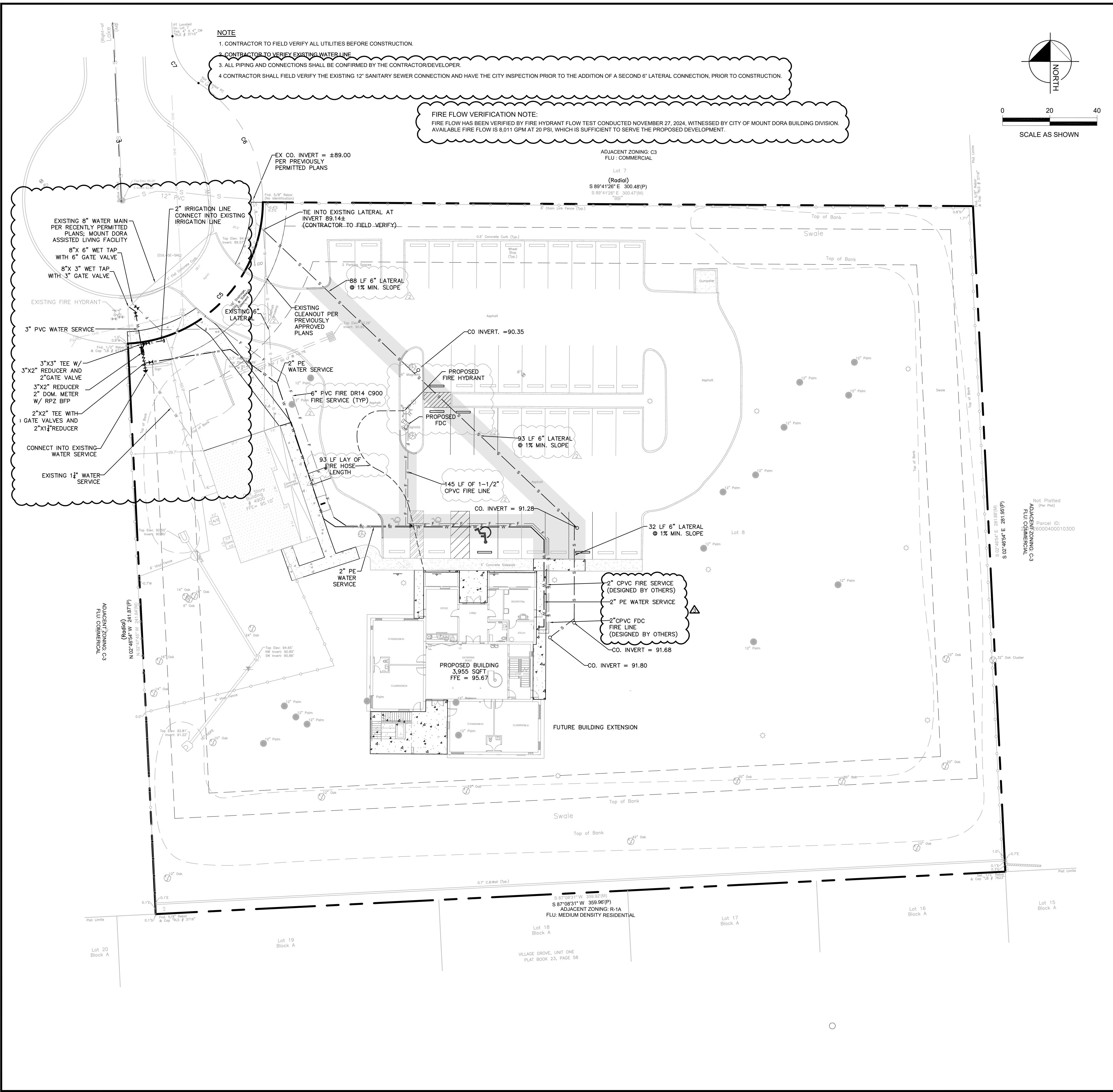
DESIGN ENGINEER: CHAD S. LINN
FLORIDA REGISTRATION NUMBER: 57524
DRAWN BY: DAH
CHECKED BY: DAH
SEAL

PAVING, GRADING, AND DRAINAGE PLAN

FLORIDA
CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757
MT DORA

DATE: 07/23
PROJECT NO.: 80900-23-100
SHEET NUMBER: C06

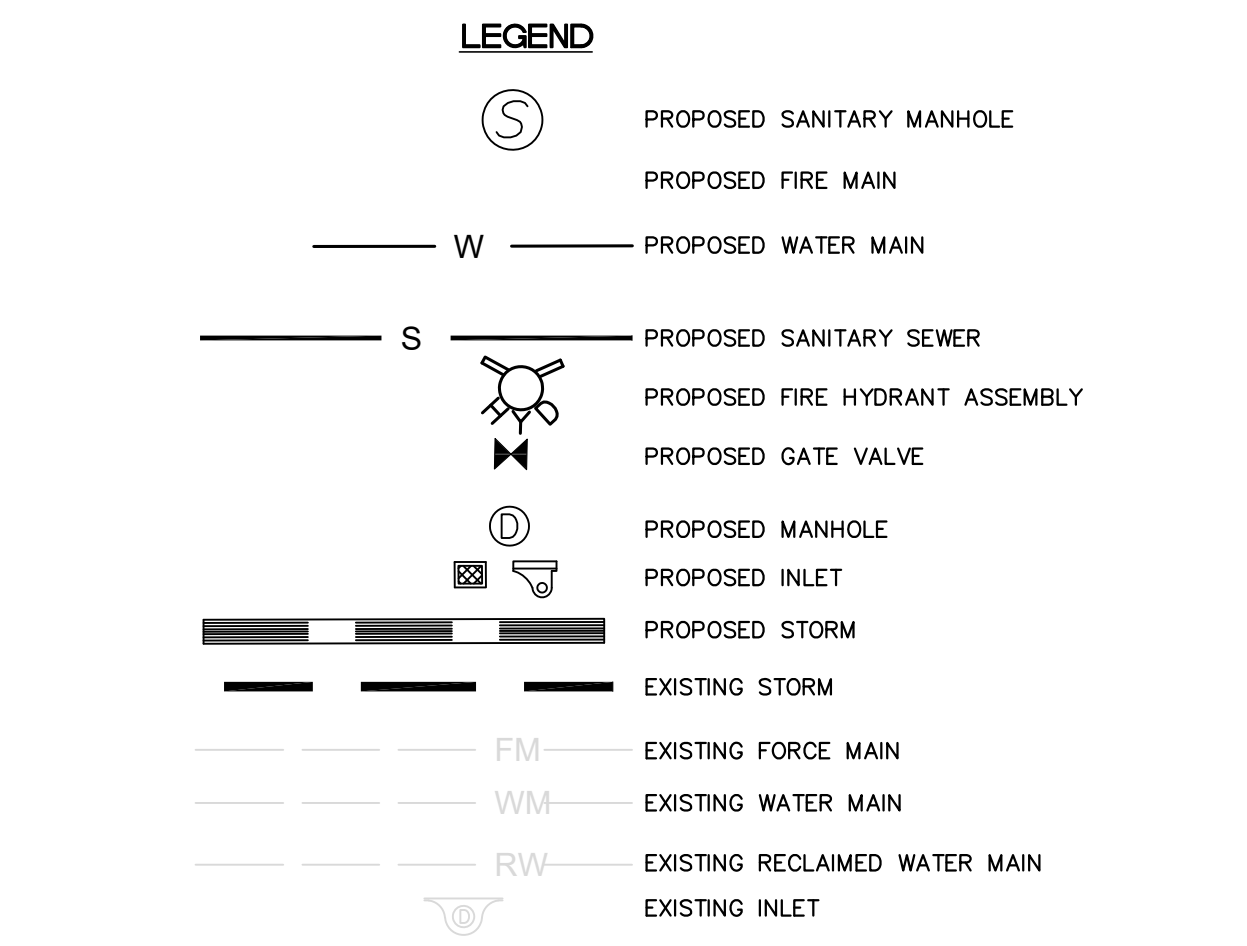
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BUILDING DEPARTMENT
 Florida Building Code 6th Ed'
CITY OF MOUNT DORA
 RCIAL UTILITY SERVICE LOAD CALCULATIONS
 BFP-035

PROPOSED FIXTURE TYPE	PROPOSED		EXISTING	
	DFU	AMOUNT	DFU	AMOUNT
Automatic clothes washers,	3			
Automatic clothes washers,	2			
Bathroom group (1.6 gpf WC)	5			
Bathroom group (>1.6 gpf WC)	6	1	6	
Bathtub W/O shower	2			
Bidet	1			
Combination sink and tray	2			
Dental lavatory	1			
Dental unit or cuspidor	1			
Dishwashing machine, domestic	2			
Drinking fountain	1/2	2	1	
Emergency floor drain	0			
Floor drains	2			
Kitchen sink, domestic	2	1	2	
Kitchen sink, comm use trap	2			
Laundry tray (1 or 2)	2			
Lavatory	1	5	5	3
Shower	2			
Service Sink	2	1	2	
Urinal	4			
Urinal, 1 gallon per flush or less	2			
Wash sink (multiple faucets)	2			
Water closet, flushometer tank	4			
Water closet, private (1.6 gpf)	3			
Water closet, private (>1.6 gpf)	4			
Water closet, public (1.6 gpf)	4	4	16	3
Water closet, public (>1.6 gpf)	6	1	6	12
SUB TOTAL DFU'S		15	38	3
Total DFU's	Amount	18		
	DFU	53		

Phase 1
 Phase 2



UTILITY PLAN

CREATE CONSERVATORY
 4900 LAKE PARK CT
 MT DORA FLORIDA 32757

DATE: 07/23
 PROJECT NO: 80900-23-100
 SHEET NUMBER: C07

FLORIDA

MT DORA

DESIGN ENGINEER: CHAD S. LINN
 FLORIDA REGISTRATION NUMBER: 57524

DRAWN BY: DAH
 CHECKED BY: DAH

SEAL

REVISIONS

NO.	REVISIONS	DATE	BY
1		6/20/24	SAT
2		5/20/25	SAT
3		9/20/25	SAT

LN ENGINEERING & DESIGN, INC.
 P.O. BOX 140024
 ORLANDO, FL 32814
 PHONE: 407-775-5194
 clin@linengineering.com
 CA LIC. NO. 31710

Drawing name: Z:\Projects\80900 - Create Conservatory\23-100 4900 Lake Park C\Add-Civil\008 - Create Conservatory Water details.dwg e08 Details Feb 17, 2026 2:23pm by: Doug

WATER SYSTEM CONSTRUCTION GENERAL NOTES

- 1. THE CITY'S PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED PRIOR TO BEGINNING ANY WATER SYSTEM CONSTRUCTION.
2. DE-WATERING SHALL BE PROVIDED TO KEEP GROUND WATER ELEVATION A MINIMUM OF 6 INCHES BELOW PROPOSED WATER MAIN.
3. ALL WATER MAINS SHALL BE INSTALLED ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
4. TRENCHES SHALL BE BACK FILLED WITH MATERIAL ACCEPTABLE TO THE CITY, WITH A MINIMUM COMPACTION OF 98% (ASHTO T-180) IN PAVED AREAS AND 95% (ASHTO T-180) IN UNPAVED AREAS.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 1 FOOT ABOVE THE PIPE AND AT 2 FEET VERTICAL INTERVALS TO FINISH GRADE, AT A MINIMUM SPACING OF EVERY 300 FEET.
6. PIPE WARNING TAPE SHALL BE LOCATED 18 INCHES BELOW FINISH GRADE FOR ALL PIPES. PIPE IDENTIFICATION TAPE SHALL BE PROVIDED ON ALL PIPES.
7. ALL SINGLE RESIDENTIAL WATER SERVICES SHALL BE MINIMUM 1" AND DOUBLE RESIDENTIAL SERVICES SHALL BE MINIMUM 1-1/2" BLACK OR BLUE POLYETHYLENE TUBING. POLYBUTYLENE SHALL NOT BE USED.
8. ALL WATER SERVICE ENDINGS SHALL BE MARKED BY 2"x4" LUMBER (PRESSURE TREATED). ALL SERVICE SHALL EXTEND 6 INCHES ABOVE GRADE, SECURED TO THE BASE OF THE LUMBER. ALL SERVICES MUST BE ADJUSTED TO FINAL METER BOX LOCATION BY OWNER PRIOR TO INITIAL METER INSTALLATION.
9. WATER VALVES SHALL BE PLACED AT ALL STREET INTERSECTIONS AND AT MAXIMUM SPACING OF 1,000 FEET FOR RESIDENTIAL SERVICE (500' FOR COMMERCIAL, MULTIFAMILY AND INDUSTRIAL). AT ALL WATER TEES AND CROSSES, VALVES SHALL BE INSTALLED ON ALL BRANCHES.
10. APPROVED WATER VALVE TYPES ARE THE FOLLOWING:
A. BRASS BALL-TYPE VALVE FOR VALVES LESS THAN 2" DIAMETER.
B. STANDARD GATE VALVES 2" AND LARGER DIAMETER, RESILIENT WEDGE GATE VALVES (AWWA C-509)
C. TAPPING VALVES WITH MECHANICAL TAPPING SLEEVE FOR SIZE ON SIZE STAINLESS STEEL.

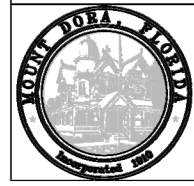


POTABLE WATER GENERAL NOTES

PW001-1A ISSUED: 2017 REVISED: -

WATER SYSTEM CONSTRUCTION GENERAL NOTES

- 11. ALL POTABLE WATER VALVE BOXES SHALL BE ADJUSTED TO FINISH GRADE AND THE CAPS SHALL BE PAINTED BLUE TO MAKE THEM PLAINLY VISIBLE.
12. AS STANDARD PRACTICE, WATER MAINS SHALL BE INSTALLED 4 FEET OFF THE BACK OF THE CURB ON THE OPPOSITE SIDE OF THE RECLAIMED WATER LINES OR AS APPROVED BY THE CITY.
13. ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE, AND HAVE A MINIMUM COVER OF 36 INCHES. IN SPECIAL CASES WHERE IT IS IMPOSSIBLE OR INAPPROPRIATE TO PROVIDE ADEQUATE COVER, DUCTILE IRON PIPE OR ENCASEMENT MAY BE USED AS APPROVED BY THE CITY AND FDP.
14. ALL WATER MAINS TO BE CLEARED FOR SERVICE SHALL BE FLUSHED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANSED FOR SERVICE, IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.
15. WATER MAINS SHALL BE PVC AWWA CLASS C-900, MINIMUM CL-150 (DR-18) DUCTILE IRON PIPE PRESSURE RATING, STANDARD CEMENT LINED, UNLESS OTHERWISE APPROVED BY THE CITY.
16. UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM, IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO INSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OR THE CITY PUBLIC WORKS AND 'AS-BUILTS' ARE PROVIDED TO THE CITY, PRIOR TO ANY USE OF THIS SYSTEM.
17. WATER DISTRIBUTION SYSTEM SHALL BE DESIGNED TO COMPLY WITH THE CITY'S FIRE (WATER) FLOW CODE AND NFPA 291.
18. ALL WATER SERVICES SHALL BE MARKED ALONG THE OUTSIDE EDGE OF CURB WITH UPSIDE-DOWN 'W' OR BY METAL TABS SET INTO PAVEMENT. VALVES FOR WATER SHALL BE MARKED BY A 'V' OR METAL TABS SET INTO THE PAVEMENT. BLOW-OFFS SHALL BE MARKED WITH A 'B'.
19. BLUE REFLECTORS SHALL BE SECURELY AFFIXED TO ROADWAY (CENTER LINE OF ROAD) ADJACENT TO HYDRANT LOCATION.
20. WATER SERVICES SHOULD BE DOUBLE 1-1/2" SERVICES LOCATED AT SIDE LOT LINES, ALTERNATING WITH RECLAIMED WATER SERVICE LOCATIONS. IN INSTANCES WHERE WATER SERVICES NEED TO BE OFFSET, 1" SERVICES SHALL BE SPECIFIED. THESE SERVICES MAY BE OFFSET FROM THE LOT LINE A MAXIMUM DISTANCE OF 5.0 FEET.
21. OUT-OF-SERVICE FIRE HYDRANTS MUST BE CLEARLY MARKED (RED RING ON NOZZLE, LABELED DISK ON NOZZLE) FACING ROADWAY. ALL LABELS AND DISK PROVIDED BY THE CITY OR BLACK BAGGED - NOTIFY THE FIRE DEPT. THAT THE HYDRANT IS OUT OF SERVICE.
22. PRIOR TO TAKING ANY WATER LINES OUT OF SERVICE, THE CONTRACTOR SHALL NOTIFY THE CITY AND AFFECTED CUSTOMERS, IN WRITING, 48-HOURS PRIOR TO SHUTDOWN WITH CITY APPROVAL.
23. WATER SYSTEMS WILL BE PRESSURE TESTED AT 150 PSI STATIC PRESSURE FOR A PERIOD OF 2 HOURS PER AWWA STANDARDS. PRIVATE WATER SYSTEMS SUPPLYING FIRE HYDRANTS OR FIRE SPRINKLER SYSTEMS SHALL BE TESTED AT 200 PSI FOR 2 HOURS IN ACCORDANCE WITH NFPA 13. NOTIFY FIRE AND BUILDING DEPARTMENTS PRIOR TO TESTING.

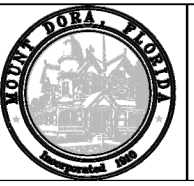


POTABLE WATER GENERAL NOTES

PW001-1B ISSUED: 2017 REVISED: -

WATER SYSTEM CONSTRUCTION GENERAL NOTES

- 24. MEGALUGS, SPLIT-RESTRAINED BOLTLESS RESTRAINED JOINTS, OR GRIPPER GASKETS SHALL BE USED ON ALL RESTRAINED JOINT INSTALLATIONS, MINIMUM DEPTH OF BURY ON ALL PIPES NOT MEETING REQUIRED COVER REQUIREMENTS SHALL FOLLOW THE MOST RECENT DIPRA THRUST RESTRAINT DESIGN GUIDELINES.
25. WATER VALVES SHALL BE COMPLETELY OPENED BY THE CITY, IN THE PRESENCE OF THE CONTRACTOR, PRIOR TO FINAL ACCEPTANCE OF ANY NEW WATER SYSTEM.
26. ALL FIRE HYDRANTS SHALL BE CONSTRUCTED TO MAKE THEM EASILY ACCESSIBLE TO FIRE PERSONNEL IN CASE OF A FIRE. THE MAIN NOZZLE SHOULD ALWAYS FACE THE STREET AND BE 18" - 22" ABOVE FINAL GRADE.
27. HYDRANT LOCATION AND SPACING SHALL BE AS PER ARTICLE 7.13.2 OF THE LAND DEVELOPMENT CODE.



POTABLE WATER GENERAL NOTES

PW001-1C ISSUED: 2017 REVISED: -

7.13. - WATER DISTRIBUTION SYSTEMS.

- 7.13.1. GENERAL: THIS SECTION SETS FORTH THE GENERAL REQUIREMENTS FOR DESIGN AND INSTALLATION OF WATER DISTRIBUTION SYSTEMS FOR POTABLE WATER SERVICE.
7.13.2. DESIGN STANDARDS.
1. REFERENCE: NORMAL FLOW DEMANDS FOR DESIGN SHALL BE CALCULATED ON THE BASIS OF FULL ULTIMATE DEVELOPMENT AS KNOWN, OR PROJECTED. THE AVERAGE DAILY FLOW FOR DOMESTIC USE SHALL BE CALCULATED AT THE MINIMUM RATE OF 135 GALLONS PER DAY PER CAPITA, WITH 3.5 PERSONS PER SINGLE-FAMILY RESIDENCE, AND 2.5 PERSONS PER MULTIFAMILY OR MOBILE HOME DWELLING UNIT. MAXIMUM DAY INSTANTANEOUS DEMAND TO BE USED FOR DESIGN SHALL BE 1.0 GALLON PER MINUTE (GPM) PER SINGLE-FAMILY RESIDENCE AND 0.7 GPM PER DWELLING UNIT FOR EACH MULTIFAMILY OR MOBILE HOME UNIT. FLOW DEMANDS FOR COMMERCIAL, INDUSTRIAL OR OTHER SPECIAL DEVELOPMENTS SHALL BE ESTABLISHED FROM EXISTING RECORDS OR BY ESTIMATED PROJECTIONS, USING THE BEST AVAILABLE DATA.
2. WATER DISTRIBUTION SYSTEMS AND/OR WATER MAIN EXTENSIONS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FIRE PROTECTION REQUIREMENTS OF THE INSURANCE SERVICE OFFICE (NATIONAL BOARD OF FIRE UNDERWRITERS), AS STATED IN THEIR PUBLICATION 'GUIDE FOR THE DETERMINATION OF REQUIRED FIRE FLOWS,' IF NOT IN CONFLICT WITH THE FOLLOWING:
A. FIRE FLOWS IN SINGLE-FAMILY RESIDENTIAL AREAS SHALL PROVIDE A MINIMUM OF 600 GPM AT A 20 PSI RESIDUAL PRESSURE.



POTABLE WATER GENERAL NOTES

PW001-1D ISSUED: 2017 REVISED: -

- B. FIRE FLOWS IN COMMERCIAL, INSTITUTIONAL, INDUSTRIAL AREAS AND APARTMENT OR MULTIFAMILY COMPLEXES, SHALL PROVIDE A MINIMUM OF 1,500 GPM AT A 20 PSI RESIDUAL PRESSURE. LARGER COMMERCIAL/INDUSTRIAL, MAJOR SHOPPING CENTERS, SCHOOLS, AND SIMILAR USES SHALL HAVE A FIRE FLOW CAPACITY AS DETERMINED NECESSARY BY THE FIRE DEPARTMENT.
C. FIRE HYDRANTS: DISTANCE FROM OR SPACING OF FIRE HYDRANTS SHALL BE A MINIMUM OF 600 FEET FROM THE FURTHERMOST POINT OF ANY RESIDENTIAL STRUCTURE AND 300 FEET FROM THE FURTHERMOST POINT OF ANY COMMERCIAL STRUCTURE, AS THE FIRE DEPARTMENT WOULD LAY HOSE OR AS OTHERWISE SPECIFIED BY THE FIRE DEPARTMENT TO MEET DETERMINED WATER FLOW REQUIREMENTS FOR FIRE PROTECTION AND/OR INCREASE FIRE PROTECTION EFFECTIVENESS. FIRE HYDRANTS SHALL BE CONNECTED TO WATER MAINS OF EIGHT-INCH MAINS IN ALL AREAS. CONNECTION TO DEAD END STUBS ARE ACCEPTABLE, PROVIDED THAT SAID STUBBED WATER MAIN IS NOT LESS THAN EIGHT INCHES AND WILL PROVIDE ACCEPTABLE FLOW.
D. SYSTEM SIZE COMPUTATION: THE MINIMUM DESIGN FOR WATER DISTRIBUTION SYSTEMS SHALL PROVIDE FOR AT LEAST 100 PERCENT OF THE COMBINED MAXIMUM DAY-DEMAND RATE AND REQUIRED FIRE FLOW FOR SAID RATE, WITH SPECIAL PROVISIONS FOR PEAK FLOWS IN EXCESS THEREOF. THE ALLOWABLE MINIMUM SERVICE PRESSURE UNDER SAID DESIGN CONDITION SHALL NOT BE LESS THAN 20 POUNDS PER SQUARE INCH. DESIGN COMPUTATION SHALL BE BY THE 'HARDY CROSS' PROCEDURE, OR OTHER APPLICABLE METHODS, AS DICTATED BY THE SYSTEM CONFIGURATION. DESIGN FLOWS AND METHOD OF COMPUTATION SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE CITY.
E. VALVE LOCATIONS: VALVES SHALL BE PROVIDED FOR ALL BRANCH CONNECTIONS, LOOP ENDS, FIRE HYDRANT STUBS, OR OTHER LOCATIONS, AS REQUIRED TO PROVIDE AN OPERABLE, EASILY MAINTAINED, AND REPAIRED WATER DISTRIBUTION SYSTEM. VALVES ARE TO BE PLACED SO THAT THE MAXIMUM ALLOWABLE LENGTH OF WATER MAIN REQUIRED TO BE SHUT DOWN FOR REPAIR WORK SHALL BE 500 FEET IN COMMERCIAL, INDUSTRIAL OR HIGH-DENSITY RESIDENTIAL DISTRICTS, OR 1,000 FEET IN OTHER AREAS.

7.13.3. STANDARD REQUIREMENTS.

- 1. GENERAL: THE MATERIALS OF CONSTRUCTION AND GENERAL INSTALLATION PROCEDURES, WITH THE EXCEPTION OF FIRE HYDRANTS, SHALL COMPLY WITH THE SPECIFIC APPLICABLE STANDARDS SET FORTH UNDER SECTION 7.3, 'UTILITY EXCAVATION, TRENCHING AND BACKFILLING,' SECTION 7.4, 'BORING AND JACKING,' AND SECTION 7.5, 'PIPE, FITTINGS, VALVES AND APPURTENANCES,' AS WELL AS 'STANDARD DETAILS-WATER DISTRIBUTION SYSTEMS.'
2. FIRE HYDRANTS: HYDRANTS SHALL COMPLY WITH AWWA STANDARD C502, 'FIRE HYDRANTS FOR ORDINARY WATER WORKS SERVICE,' AND SHALL BE EQUIPPED WITH A MINIMUM OF ONE PUMPER OUTLET NOZZLE 4 1/2 INCHES IN DIAMETER AND TWO HOSE NOZZLES 2 1/2 INCHES IN DIAMETER. THREADS, NOZZLE CAPS, OPERATING NUTS AND COLOR SHALL CONFORM TO CITY STANDARDS. UNITS SHALL BE TRAFFIC TYPE WITH BREAKABLE SAFETY CLIPS OR FLANGE, AND STEER WITH SAFETY COUPLING LOCATED BELOW BARREL BREAK LINE TO PRECLUDE VALVE OPENING. HYDRANTS SHALL BE DRY TOP TYPE. OUTLET NOZZLES SHALL BE ON THE SAME PLANE, WITH MINIMUM DISTANCE OF 18 INCHES FROM CENTER OF NOZZLES TO GROUND LINE. VALVE SHALL BE COMPRESSION TYPE WITH 5/8 INCHES MINIMUM OPENING UNLESS OTHERWISE REQUESTED AND SHOW INLET CONNECTION TO BE SIX INCHES MINIMUM.
A. HYDRANTS SHALL BE INSTALLED PLUMB AND IN TRUE ALIGNMENT WITH THE CONNECTION PIPES TO THE WATER MAIN. THEY SHALL BE SECURELY BRACED AGAINST THE END OF THE TRENCH (UNDISTURBED SOIL) WITH CONCRETE THRUST BLOCKS. THE GRAVEL OR CRUSHED STONE FOR THE DRAIN SUMP, FOLLOWED BY BACKFILLING, SHALL BE CAREFULLY PLACED AND COMPACTED. INSTALLED HYDRANTS SHALL BE PAINTED RED FOR THE FINAL COAT.
B. HYDRANT PLACEMENT IS TO BE A MINIMUM OF SIX FEET AND A MAXIMUM OF NINE FEET FROM THE CURB OR PAVED ROAD SURFACE UNLESS OTHERWISE APPROVED. THE CENTER OF THE STEAMER PORT SHALL BE 18 INCHES MINIMUM AND 24 INCHES MAXIMUM ABOVE FINAL GRADE. STEAMER PORT SHALL BE CORRECTLY POSITIONED FOR THE PROPER CONNECTION, WITH THE APPROVAL OF THE CITY (WATER AND FIRE DEPARTMENT).
3. JOINT RESTRAINING: PRESSURE PIPING FITTINGS AND OTHER ITEMS REQUIRING RESTRAINT, SHALL BE BRACED WITH 2,500 PSI CONCRETE THRUST BLOCKS OR OTHER RESTRAINING ASSEMBLIES. SAID RESTRAINING DEVICES SHALL BE DESIGNED FOR THE MAXIMUM PRESSURE CONDITION (TESTING) AND THE SAFE BEARING LOADS FOR HORIZONTAL THRUST, IF THRUST BLOCKING IS USED.



POTABLE WATER GENERAL NOTES

PW001-1E ISSUED: 2017 REVISED: -

- 4. PIPE DEPTH AND PROTECTION: THE STANDARD MINIMUM COVER FOR WATER DISTRIBUTION SYSTEMS SHALL BE THREE FEET FROM THE TOP OF THE FINISH GRADE. HOWEVER, SHOULD THIS DESIGN NOT BE FEASIBLE, PROTECTIVE CONCRETE SLABS SHALL BE PROVIDED OVER THE PIPE WITHIN THE LIMITS OF THE LESSER COVER. WHERE WATERWAYS, CANALS, DITCHES OR OTHER CUTS ARE CROSSED, DUCTILE IRON PIPE SHALL BE INSTALLED ACROSS AND TO TEN FEET EACH SIDE OF THE BOTTOM. ADDITIONALLY, APPROVED UTILITY CROSSING SIGNS SHALL BE PLACED ON THE PIPE ALIGNMENT AT EACH SIDE OF THE CANAL, ETC.
5. CONNECTIONS AT STRUCTURE: WHERE PIPES ARE TO EXTEND INTO OR THROUGH STRUCTURES, FLEXIBLE JOINTS ARE TO BE PROVIDED AT THE WALL FACE.
6. SPECIAL EXTERIOR PROTECTION FOR CORROSION: EXTRA PROTECTION SHALL BE PROVIDED FOR UNDERGROUND CAST OR DUCTILE IRON PIPE AND FITTINGS WITHIN AREAS OF SEVERE CORROSIVE CONDITIONS. THIS SHALL BE ACCOMPLISHED BY THE INSTALLATION OF POLYETHYLENE ENCASEMENT, THROUGH THE AREA OF CONCERN. THE SOIL TEST EVALUATION TO DETERMINE THE NECESSITY FOR EXTRA PROTECTION IN SUSPECT AREAS SHALL BE AS SET FORTH IN ANSI STANDARD A21.5. ADDITIONALLY, WHERE OTHER EXISTING UTILITIES ARE KNOWN TO BE CATHODICALLY PROTECTED, CAST OR DUCTILE IRON PIPE CROSSING SAID UTILITY SHALL BE INSTALLED PARALLEL TO AND WITHIN TEN FEET OF PROTECTION SHALL ALSO BE PROVIDED. STEEL PIPE SHALL NOT BE INSTALLED IN SEVERE CORROSION AREAS.
7. AIR VENTING AND BLOWOFFS: WHERE THE WATERMAIN PROFILE IS SUCH THAT AN AIR POCKET OR ENTRAPMENT COULD OCCUR, RESULTING IN FLOW BLOCKAGE, METHODS FOR AIR RELEASE SHALL BE PROVIDED. AIR VENTING CAPABILITIES SHALL BE PROVIDED FOR DISTRIBUTION MAINS BY APPROPRIATELY PLACING FIRE HYDRANTS, BLOWOFFS, OR OTHER MANUAL DEVICES. AT CRITICAL POINTS ON MAJOR MAINS, AUTOMATIC AIR RELEASE ASSEMBLIES SHALL BE INSTALLED. SPECIAL CARE SHALL BE TAKEN TO PRECLUDE ANY CROSS-CONNECTION POSSIBILITY IN THE DESIGN OF AUTOMATIC AIR RELEASE VALVE APPLICATION. ALL DEAD-END WATER MAINS, TEMPORARY OR PERMANENT, SHALL BE EQUIPPED WITH A MANUALLY OPERATED BLOWOFF AT THE TERMINAL.



POTABLE WATER GENERAL NOTES

PW001-1F ISSUED: 2017 REVISED: -

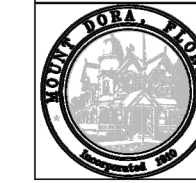
- 8. SERVICE CONNECTIONS: CONNECTIONS TO WATER MAINS FOUR INCHES AND LARGER SHALL BE MADE BY DRILLING THE APPROPRIATE SIZE HOLE AND INSTALLATION OF SERVICE SADDLES, WITH SERVICES TO SMALLER SIZES ACCOMPLISHED BY IN-LINE FITTINGS. A FITTING WITH THE SERVICE LINE EXTENDED TO THE PROPERTY LINE OR EASEMENT LINE, PERPENDICULAR TO SAID LINE, AND TERMINATING WITH A PLUGGED CURB STOP AND METER BOX WITH STANDARD PLASTIC METER BOX WITH CAST IRON LID. CONCRETE BOXES SHALL BE USED IN HIGH TRAFFIC AREAS PENDING METER INSTALLATION. ON CURBED STREETS THE EXACT LOCATION FOR EACH INSTALLED SERVICE SHALL BE MARKED BY ETCHING OR CUTTING A "W" IN THE CONCRETE CURB AND PAINTED BLUE. WHERE NO CURB EXISTS OR IS PLANNED, LOCATIONS SHALL BE ADEQUATELY MARKED BY A ONE-HALF-INCH STEEL REBAR, THREE INCHES BELOW FINAL GRADE.
7.13.4. TESTING.
1. THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL WATER DISTRIBUTION SYSTEMS, AS SET FORTH IN THE FOLLOWING AND SHALL CONDUCT SAID TESTS IN THE PRESENCE OF REPRESENTATIVES FROM THE CITY AND/OR OTHER AUTHORIZED AGENCIES, WITH 48 HOURS ADVANCE NOTICE PROVIDED, IN WRITING.
2. PIPING AND APPURTENANCES TO BE TESTED SHALL BE WITHIN SECTIONS BETWEEN VALVES, NOT EXCEEDING 2,000 FEET UNLESS ALTERNATE METHODS HAVE RECEIVED PRIOR APPROVAL FROM THE CITY. TESTING SHALL NOT PROCEED UNTIL CONCRETE THRUST BLOCKS ARE IN PLACE AND CURED, OR OTHER RESTRAINING DEVICES INSTALLED. ALL PIPING SHALL BE THOROUGHLY CLEANED AND FLUSHED PRIOR TO TESTING TO CLEAR THE LINES OF ALL FOREIGN MATTER. WHILE THE PIPING IS BEING FILLED WITH WATER, CARE SHALL BE EXERCISED TO PERMIT THE ESCAPE OF AIR FROM EXTREMITIES OF THE TEST SECTION, WITH ADDITIONAL RELEASE COCKS PROVIDED IF REQUIRED.



POTABLE WATER GENERAL NOTES

PW001-1G ISSUED: 2017 REVISED: -

- 3. HYDROSTATIC TESTING SHALL BE PERFORMED AT 150 POUNDS PER SQUARE INCH PRESSURE, UNLESS OTHERWISE APPROVED BY THE CITY, FOR A PERIOD OF NOT LESS THAN TWO HOURS. TESTING SHALL BE IN ACCORDANCE WITH THE APPLICABLE AWWA PROVISIONS FOR PVC-AWWA PUBLICATION M-23 AND FOR DIP-AWWA STANDARD C800, SECTION 4. THE ALLOWABLE RATE OF LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR DETERMINED BY THE FOLLOWING FORMULAS:
PVC DIP L = NDP 1/2
7400 L = SDP 1/2
133,200
FOR 150 PSI; TEST: L = 0.00165 ND (PVC)
FOR 150 PSI; TEST: L = 0.000092 SD (DIP)
L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR
N = NUMBER OF JOINTS IN SECTION TESTED
S = LENGTH OF PIPE TESTED, IN FEET
D = NOMINAL DIAMETER OF THE PIPE IN INCHES
P = AVERAGE TEST PRESSURE MAINTAINED DURING THE LEAKAGE TEST IMPOUNDS PER SQUARE INCH GAUGE.
4. THE TESTING PROCEDURE SHALL INCLUDE THE CONTINUED APPLICATION OF THE SPECIFIED PRESSURE TO THE TEST SYSTEM, FOR THE TWO-HOUR PERIOD, BY WAY OF A PIPE TAKING SUPPLY FROM A CONTAINER SUITABLE FOR MEASURING WATER LOSS. THE AMOUNT OF LOSS SHALL BE DETERMINED BY MEASURING THE VOLUME DISPLACED FROM SAID CONTAINER.
5. SHOULD THE TEST FAIL, NECESSARY REPAIRS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AND THE TEST REPEATED UNTIL WITHIN THE ESTABLISHED LIMITS. THE CONTRACTOR SHALL FURNISH THE NECESSARY LABOR, WATER, PUMPS, GAUGES AND ALL OTHER ITEMS REQUIRED TO CONDUCT THE REQUIRED WATER DISTRIBUTION SYSTEM TESTING AND PERFORM NECESSARY REPAIRS.
6. PIPE SECTIONS TO BE PRESSURE TESTED SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE OF 150 PSI FOR A DURATION OF TWO HOURS BY MEANS OF A PUMP.



POTABLE WATER GENERAL NOTES

PW001-1H ISSUED: 2017 REVISED: -

Table with columns: REVISIONS, NO., DATE. Includes rows for REVISION PER CITY COMMENTS and REVISIONS.

SCALE: NOTED DESIGNED BY DAH DRAWN BY DAH CHECKED BY DAH

DESIGN ENGINEER: CHAD S. LINN FLORIDA REGISTRATION NUMBER: 57524

POTABLE WATER GENERAL NOTES

CREATE CONSERVATORY 4900 LAKE PARK CT MT DORA FLORIDA 32757

Drawing name: Z:\Projects\80900 - Create Conservatory\23-100-4900 Lake Park CT\Cadd-Civil\008 - Create Conservatory Water details.dwg c09 Details Feb 17, 2026 2:14pm by: Doug

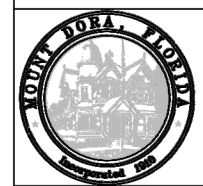
7.13.5. DISINFECTING. FOLLOWING THE PRESSURE TESTING, THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM, AND RECEIVE APPROVAL THEREOF FROM THE APPROPRIATE AGENCIES. PRIOR TO PLACING IN SERVICE, ADVANCE NOTICE SHALL BE PROVIDED TO THE CITY BEFORE DISINFECTING PROCEDURES START. THE DISINFECTION SHALL BE ACCOMPLISHED WITH THE APPLICABLE PROVISIONS OF AWWA STANDARD C651, "DISINFECTING WATER MAINS" AND ALL APPROPRIATE AGENCY APPROVALS. COMPUTATION OF THE AMOUNTS OF CHLORINE TO BE USED FOR DISINFECTION SHOULD BE APPROVED BY THE CITY OR ITS ENGINEER CONSULTANT.

1. CARE SHALL BE TAKEN TO PROVIDE DISINFECTION TO THE TOTAL SYSTEM AND EXTREMITIES SHALL BE CAREFULLY FLUSHED PRIOR TO CHLORINATION. AFTER DISINFECTION AND FINAL FLUSHING HAVE BEEN ACCOMPLISHED, SAMPLES OF WATER FOR BACTERIOLOGICAL ANALYSIS SHALL BE COLLECTED AND SUBMITTED TO AND AS DIRECTED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION OR OTHER APPROPRIATE APPROVAL AGENCY. SHOULD THESE SAMPLES OR SUBSEQUENT SAMPLES PROVE TO BE UNSATISFACTORY, THEN THE PIPING SHALL BE DISINFECTED UNTIL A SUFFICIENT NUMBER OF SATISFACTORY SAMPLES ARE OBTAINED.

2. THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT AND MATERIALS AND PERFORM THE WORK NECESSARY FOR THE DISINFECTING PROCEDURES, INCLUDING ADDITIONAL DISINFECTION AS REQUIRED.

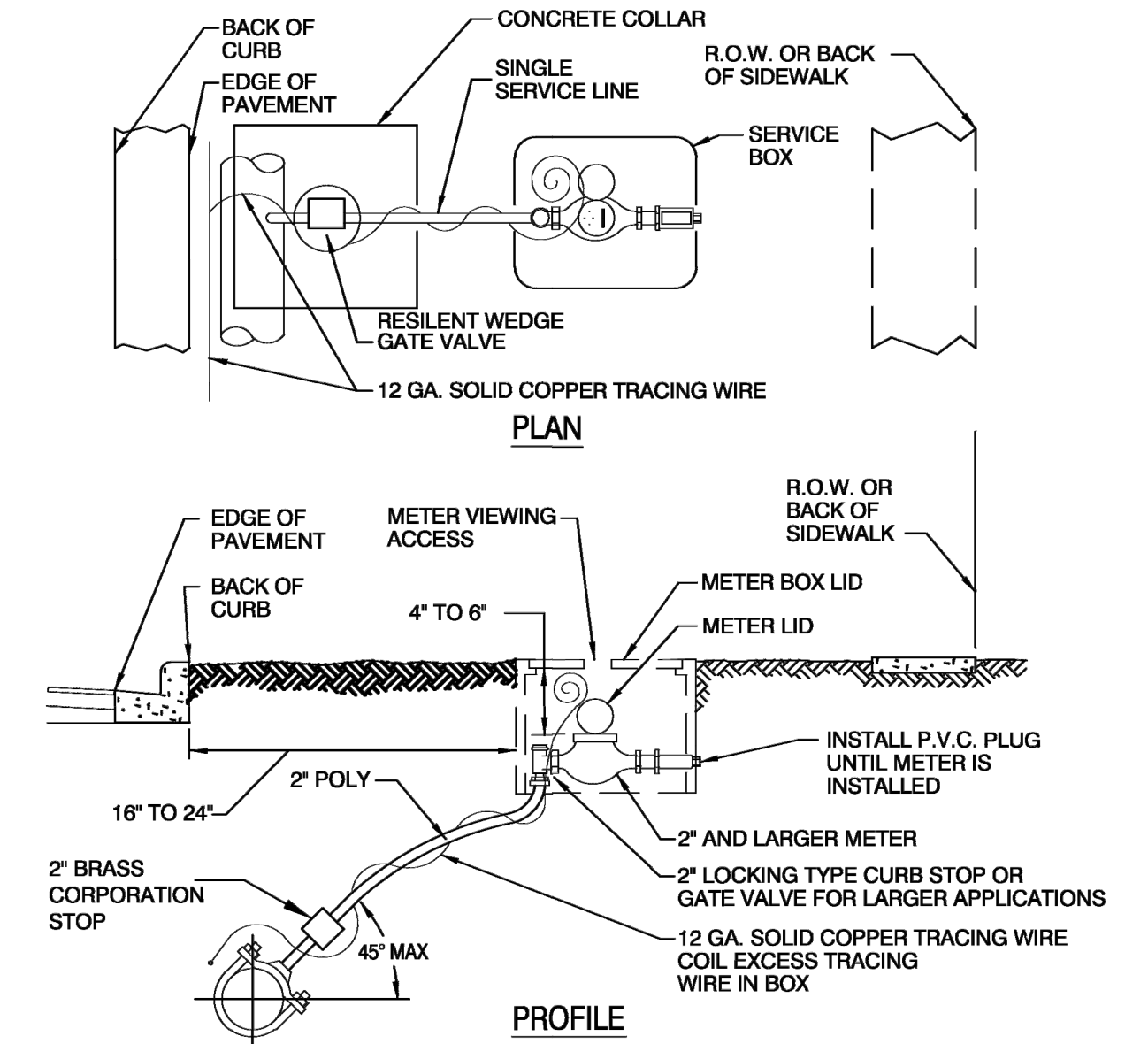
3. CONTRACTOR SHALL PROVIDE THE CITY WITH 48 HOURS ADVANCED NOTICE OF DISINFECTION.

7.13.6. AS-BUILT RECORD DRAWINGS. THE DEVELOPER MUST PROVIDE ONE COMPLETE SET OF MYLARS AND FOUR COMPLETE SETS OF WHITE COPY PRINTS OF "AS-BUILT RECORD DRAWINGS" OF THE PROJECT, SHOWING ACCURATE MEASUREMENTS OF WATER AND SEWER LINES AND STRUCTURES FROM FIXED KNOWN LOCATIONS WITHIN THE DEVELOPMENT. THE AS-BUILT RECORD DRAWINGS SHALL BE SIGNED AND SEALED BY THE PROJECT DESIGN ENGINEER ATTESTING TO THE ACCURACY OF THE LOCATIONS OF THE FACILITIES. THE AS-BUILT RECORD DRAWINGS ARE TO BE PROVIDED BEFORE THE CITY CAN ACCEPT THE IMPROVEMENTS.



**POTABLE WATER
GENERAL NOTES**

PW001-11
ISSUED: 2017
REVISED: -



- NOTES:**
- SERVICE BOX SHALL BE DFW QUALITY PRODUCTS NDS 1200"RR.
 - METER SHALL BE INSTALLED BETWEEN SIDEWALK AND CURB AND IN NO CASE SHALL IT BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.
 - BACKFLOW PREVENTERS WILL NOT BE SUPPLIED BY THE CITY OF MT. DORA ON COMMERCIAL SERVICE CONNECTIONS. BACKFLOW PREVENTER REQUIREMENTS WILL VARY FOR COMMERCIAL CONNECTIONS.
 - IRRIGATION METERS REQUIRE A CITY APPROVED TESTABLE BACKFLOW PREVENTER.
 - CASING OF SERVICE LINE IS REQUIRED UNDER PAVEMENT, USE SCH 40 PVC PIPE.
 - 3/4" - 2" RESIDENTIAL WATER METERS WILL BE PROVIDED BY AND INSTALLED BY CITY OF MOUNT DORA



**POTABLE WATER-SINGLE SERVICE
CONNECTION FOR 2" AND LARGER METERS**

PW006-1
ISSUED: 2017
REVISED: -

TEMPORARY JUMPER DETAIL NOTES:

- A TEMPORARY JUMPER CONNECTION IS REQUIRED AT ALL CONNECTIONS BETWEEN EXISTING ACTIVE WATER MAINS AND PROPOSED NEW WATER MAIN IMPROVEMENTS.
- THE DETAIL ON THE FOLLOWING PAGE IS TO BE USED FOR FILLING ANY NEW WATER MAIN OF ANY SIZE FROM EXISTING ACTIVE WATER MAINS AND FOR FLUSHING OF NEW MAINS UP TO 8" DIAMETER (2.5 FPS MINIMUM VELOCITY), AND FOR PULLING BACTERIOLOGICAL SAMPLES FROM ANY NEW WATER MAIN OF ANY SIZE. THE JUMPER CONNECTION SHALL BE MAINTAINED UNTIL AFTER FILLING, FLUSHING, TESTING AND DISINFECTION OF THE NEW MAIN HAS BEEN SUCCESSFULLY COMPLETED AND CLEARANCE FOR USE FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND OTHER PERTINENT AGENCIES HAS BEEN RECEIVED. ADEQUATE THRUST BLOCKING AND/OR RESTRAINTS SHALL BE PROVIDED TEMPORARILY, AS REQUIRED. PIPE AND FITTINGS USED FOR CONNECTING THE NEW PIPE TO THE EXISTING PIPE SHALL BE DISINFECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH AWWA C 651, LATEST EDITION. THIS TAPPING SLEEVE AND EXTERIOR OF THE MAIN, TO BE TAPPED, SHALL BE DISINFECTED BY SPRAYING OR SWABBING PER SECTION II OF AWWA C 651.
- FLUSHING OF 10" DIAMETER AND LARGER WATER MAINS MAY BE DONE THROUGH THE TIE-IN VALVE UNDER VERY CONTROLLED CONDITIONS IN THE PRESENCE OF CITY STAFF. CANNON FLUSHES MAY BE ALLOWED BUT MUST BE CONTROLLED CAREFULLY. CITY ENGINEER MUST APPROVE THE FLUSHING PLAN IN ADVANCE OF THE ACTUAL FLUSHING.

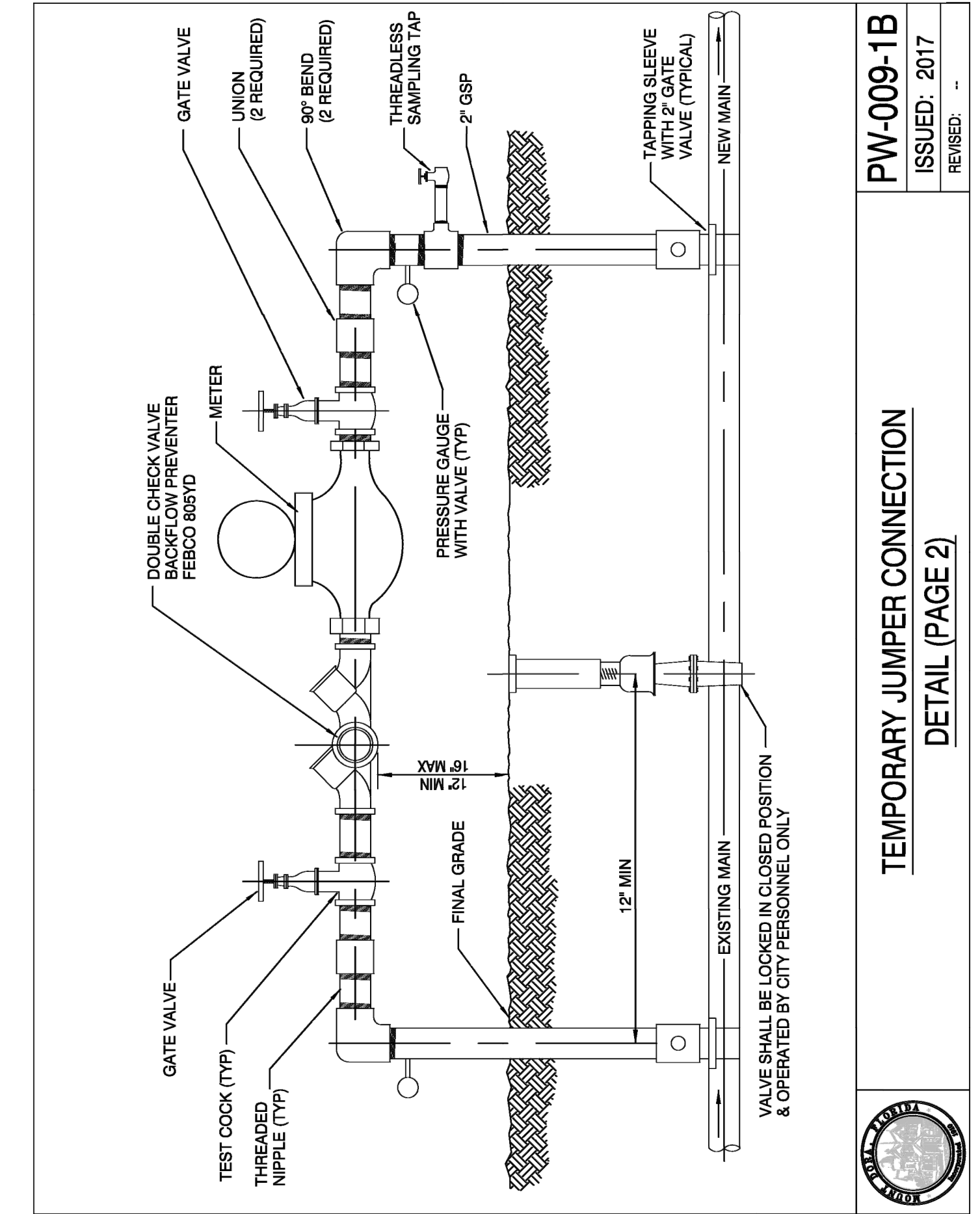
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:

- THE TIE-IN VALVES SHALL BE OPERATED AND PRESSURE TESTED IN THE PRESENCE OF THE CITY AND THE ENGINEER OF RECORD OR THEIR DESIGNEE TO VERIFY WATER TIGHTNESS PRIOR TO THE TIE-IN. VALVES WHICH ARE NOT WATERTIGHT SHALL BE REPLACED OR A NEW VALVE INSTALLED IMMEDIATELY ADJACENT TO THE LEAKING VALVE.
- THE TEMPORARY JUMPER CONNECTION SHALL BE CONSTRUCTED AS DETAILED. THE JUMPER CONNECTION SHALL NOT BE ATTEMPTED DURING PEAK DEMAND HOURS OF EXISTING WATER MAINS.
- ALL DOWNSTREAM VALVES IN THE NEW SYSTEM MUST BE OPEN PRIOR TO OPENING THE TIE-IN VALVE.
- PROVIDE FOR AND MONITOR THE PRESSURE AT THE TIE-IN POINT. THE PRESSURE IN THE EXISTING MAIN MUST NOT DROP BELOW 35 PSI.
- TIE-IN VALVE SHALL BE OPENED A FEW TURNS ONLY ENSURING A PRESSURE DROP ACROSS THE VALVE IS ALWAYS GREATER THAN 10 PSI.
- THE TIE-IN VALVE SHALL BE LOCKED CLOSED BY THE CITY UNTIL FLUSHING BEGINS.
- THE TIE-IN VALVE SHALL BE OPENED ONLY FOR FLUSHING OF THE NEW MAIN. THE PROCEDURE SHALL BE DIRECTED BY THE CITY AND OBSERVED BY THE ENGINEER.
- AFTER FLUSHING, THE TIE-IN VALVE SHALL BE CLOSED AND LOCKED IN THE CLOSED POSITION BY THE CITY.
- THE CONTRACTOR SHALL PROVIDE DOCUMENTATION DEMONSTRATING THAT THE DOUBLE CHECK BACKFLOW PREVENTION DEVICE HAS BEEN TESTED AND IS IN GOOD WORKING ORDER AT THE TIME OF INSTALLATION.
- EXCEPT AS REQUIRED TO FLUSH THE LINES OR FOR LINES GREATER THAN 8" IN DIAMETER, THE TIE-IN VALVE SHALL REMAIN CLOSED AND SHALL BE LOCKED IN THE CLOSED POSITION BY THE CITY. THE TIE-IN VALVE SHALL REMAIN LOCKED CLOSED UNTIL THE NEW SYSTEM HAS BEEN CLEARED FOR USE BY FDEP AND ALL OTHER PERTINENT AGENCIES.
- UPON RECEIPT OF CLEARANCE FOR USE FROM FDEP AND ALL OTHER PERTINENT AGENCIES, THE CONTRACTOR SHALL REMOVE THE TEMPORARY JUMPER CONNECTION. THE CORPORATION STOPS ARE TO BE CLOSED AND PLUGGED WITH 2" BRASS PLUGS.
- ALL INSTALLATION AND MAINTENANCE OF THE TEMPORARY JUMPER CONNECTION AND ASSOCIATED BACKFLOW PREVENTION DEVICE, FITTINGS, VALVE, ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



**TEMPORARY JUMPER CONNECTION
NOTES (PAGE 1)**

PW009-1A
ISSUED: 2017
REVISED: -



**TEMPORARY JUMPER CONNECTION
DETAIL (PAGE 2)**

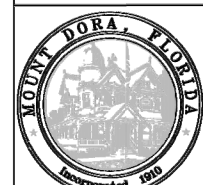
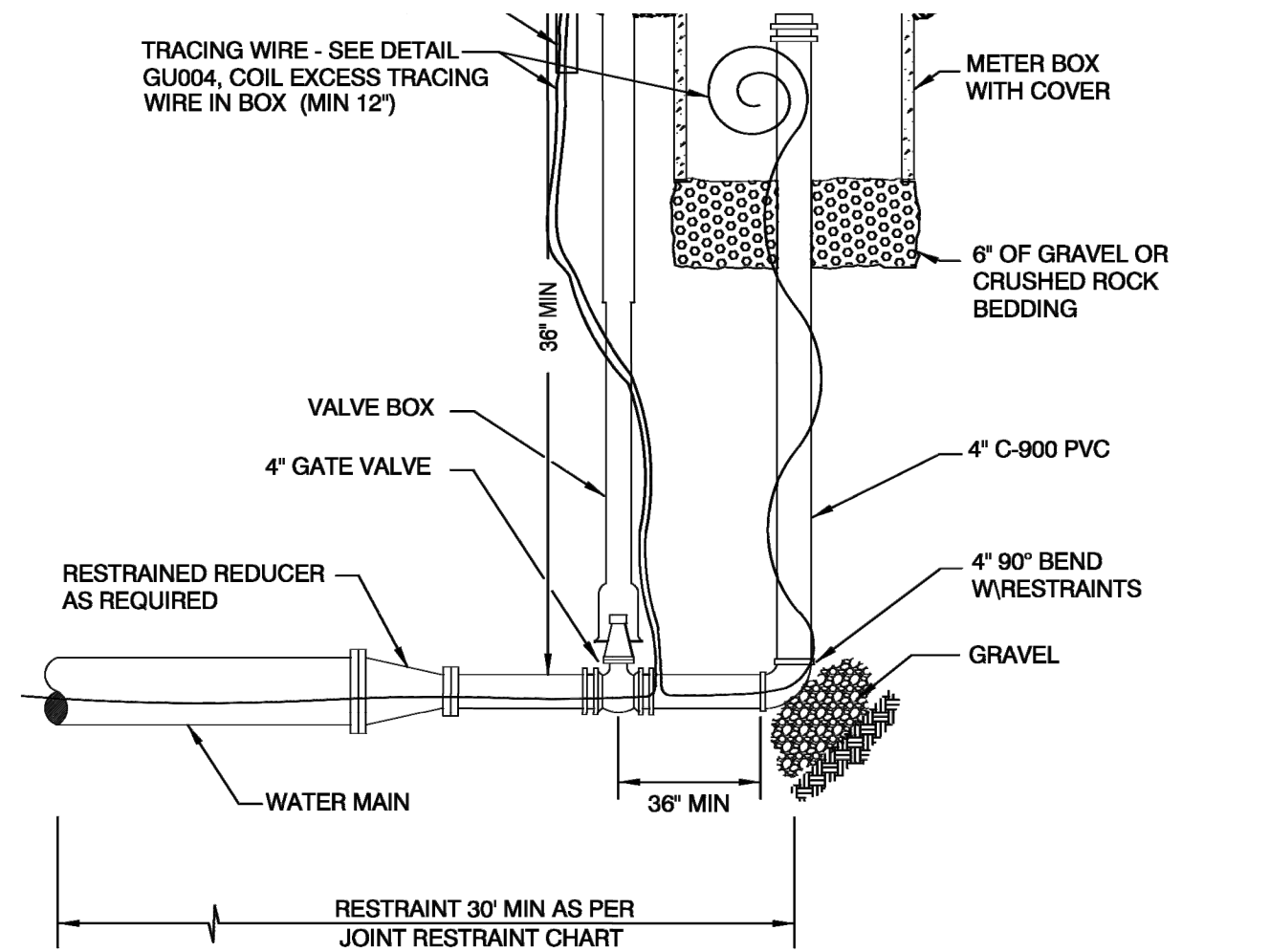
PW-009-1B
ISSUED: 2017
REVISED: -

DESIGNED BY DAH	CHAD S. LINN	SCALE: NOTED
DRAWN BY DAH	FLORIDA REGISTRATION NUMBER: 57524	DESIGNED PER CITY COMMENTS
CHECKED BY DAH	SEAL	REVISIONS PER CITY COMMENTS
		DATE
		BY
		6/2024
		5/2025
		9/2025

**POTABLE WATER
GENERAL NOTES AND
DETAILS**

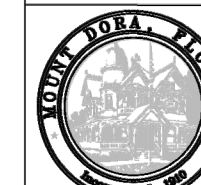
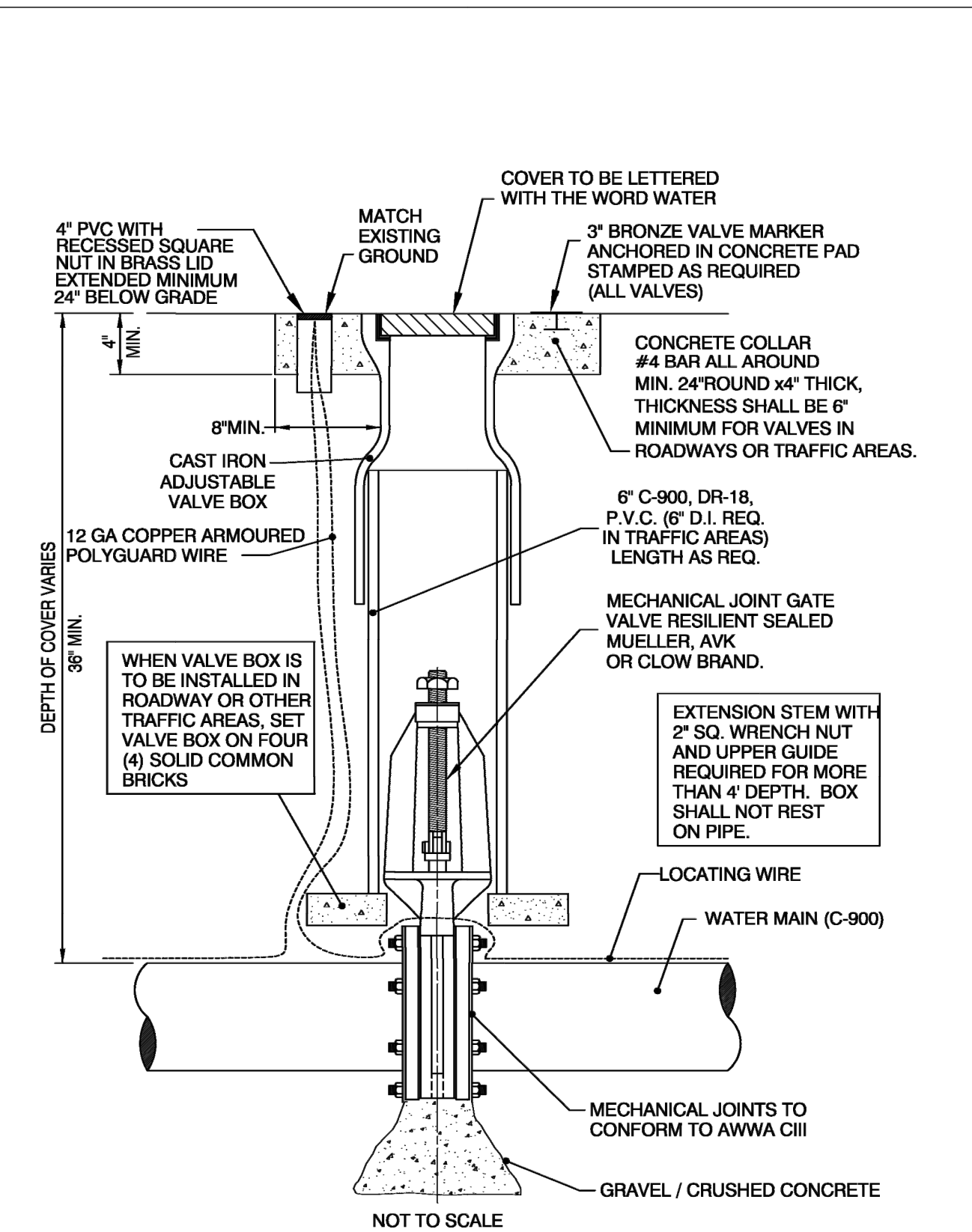
**CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757**

DATE: 07/23
PROJECT NO.: 80900-23-100
SHEET NUMBER: C09



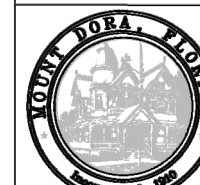
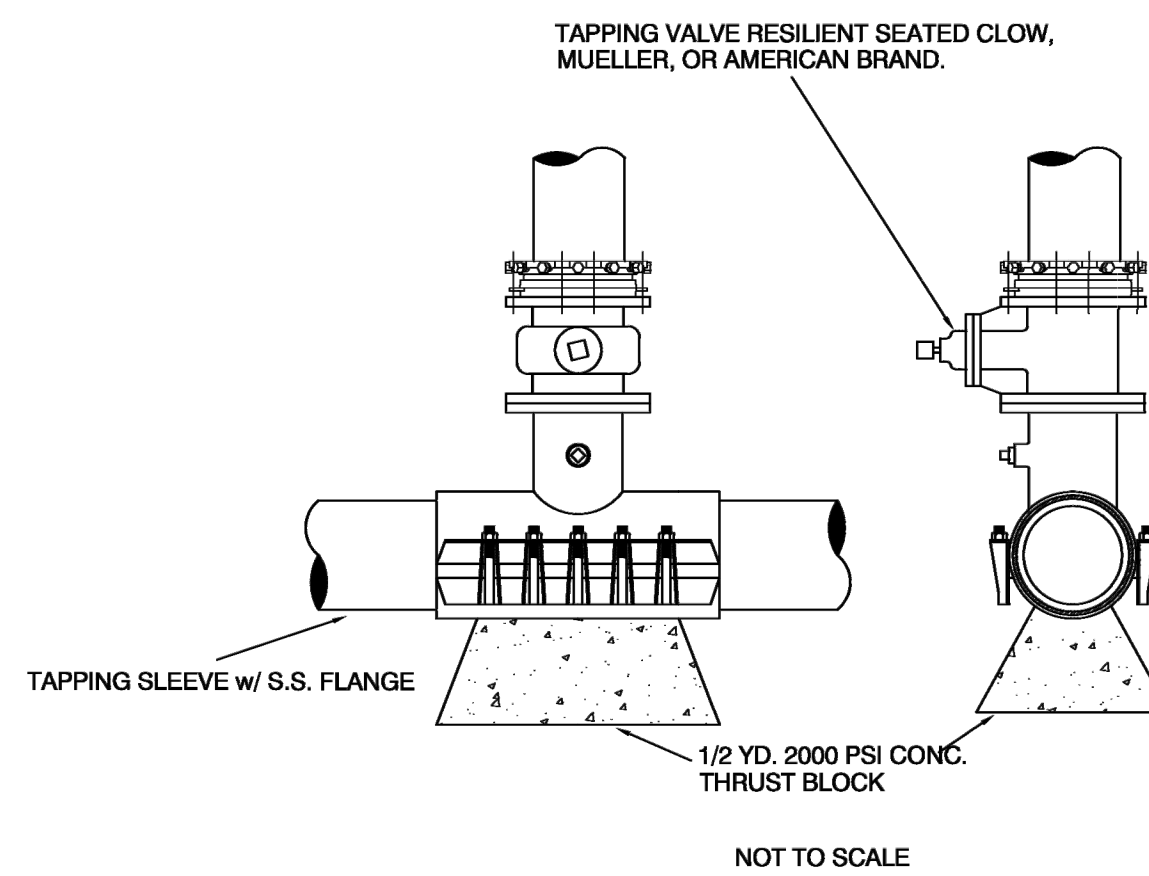
4" FLUSHING VALVE ASSEMBLY

GU010-1
ISSUED: 2017
REVISED: -



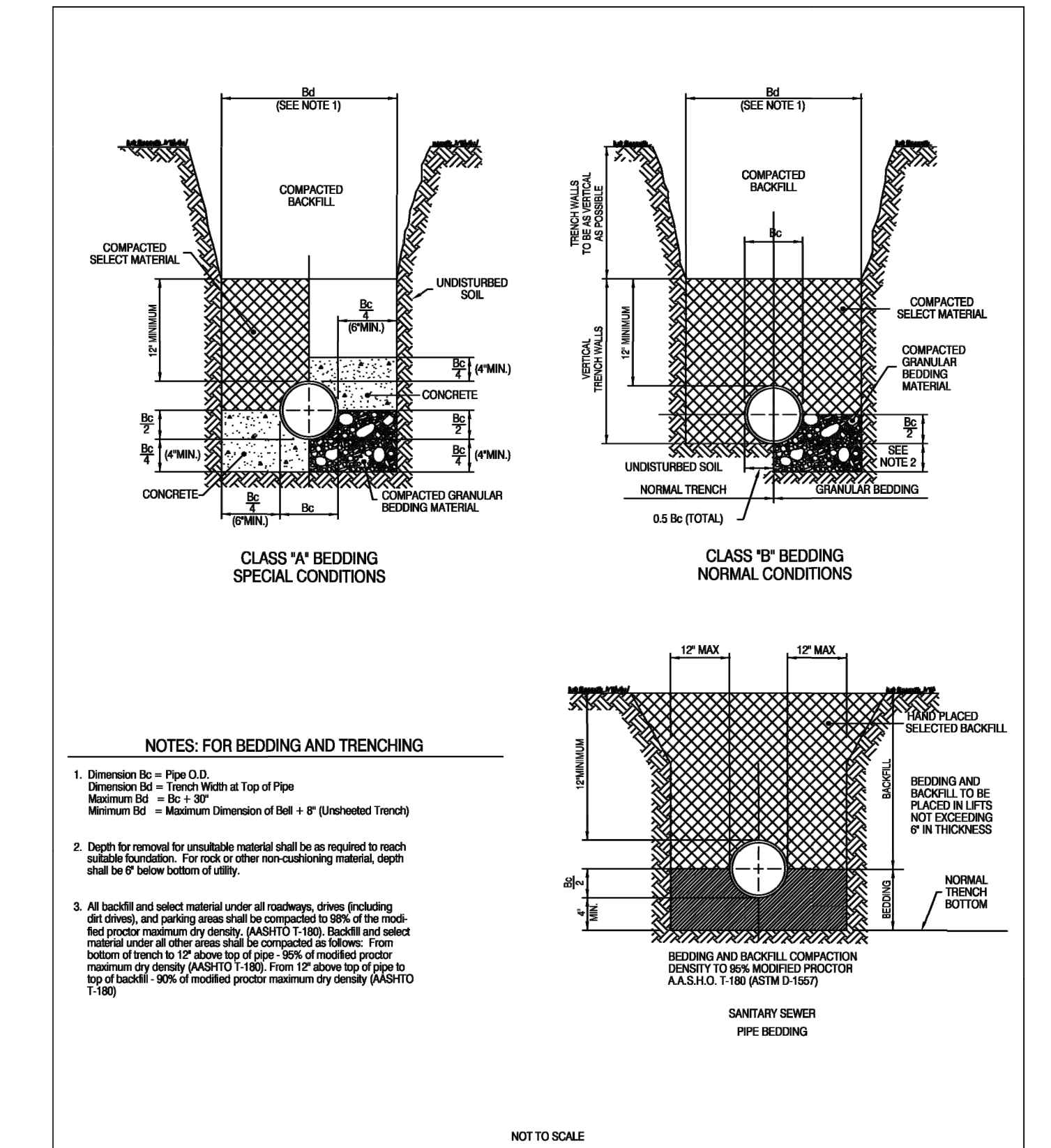
GATE VALVE & BOX

PW0012-1
ISSUED: 2017
REVISED: -



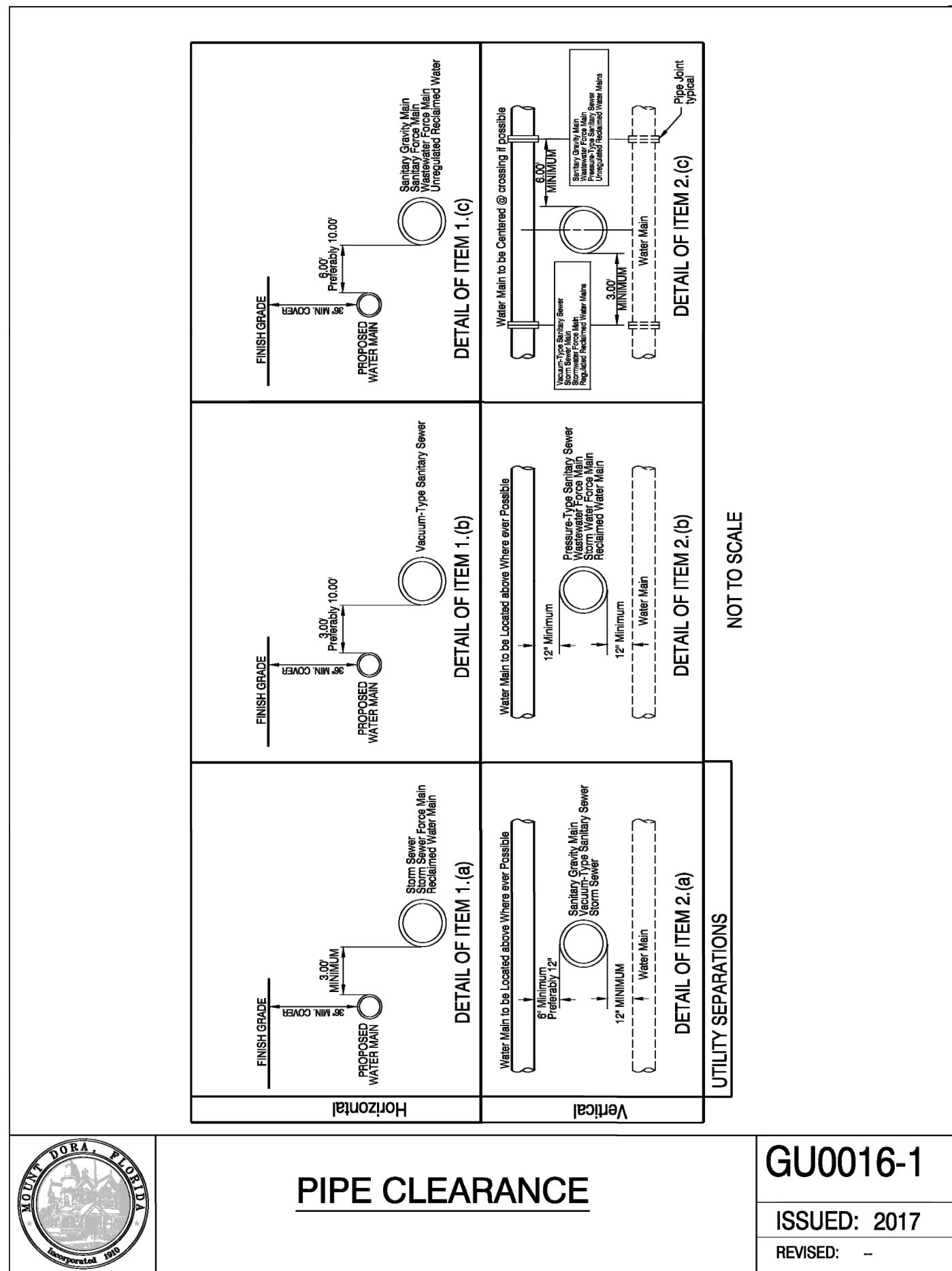
WET TAP SLEEVE & VALVE

PW0013-1
ISSUED: 2017
REVISED: -



BEDDING DETAILS

GU0017-1
ISSUED: 2017
REVISED: -



PIPE CLEARANCE
GU0016-1
ISSUED: 2017
REVISED: -

General Water Notes

- Water system components shall be installed in strict accordance with all local codes and regulations, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest AWWA standards and CHAPTER 62-555 Florida Administrative code.
- All piping shall bear the "NSF" seal for potable water.
- Water mains shall be pvc conforming to AWWA C-900, DR 18 for pipe sizes 4"-12". Pipes 14" or longer shall be AWWA C-905, DR 18. All couplings, cleaning compounds, solvents, lubricants, and pipe preparation for laying, shall be in accordance with the pipe manufacturers latest recommendations.
- Depth of water lines to be 36" minimum cover from finish grade.
- Water mains to be located 6.00' from back of curb or edge of pavement unless otherwise noted.
- All sleeves under pavement shall extend 5' beyond the back of curb.
- Disinfecting: following the pressure testing, the contractor shall disinfect all sections of the water distribution system. Disinfection shall be in accordance with the applicable provisions of AWWA standard C651 "Disinfecting water mains", and all appropriate agency approval.
- All hydrostatic test shall be in accordance with AWWA C600 for ductile iron pipe and C605/M23 for pvc pipe.
- All water mains shall be installed, pressure and leak tested in accordance with AWWA C600, (62-555.320(21)(b) 1 and 62-555.330, F.A.C. All installation, testing and field procedures must be provided and must conform to the applicable AWWA standards.
- All piping materials and specifications covering pipes, joints and packing materials, internal coating and linings fittings, specials and appurtenances shall all be in accordance with the corresponding AWWA standards and be conforming to NSF requirements, as may be applicable, with exceptions allowed only if documentation and assurances are provided in compliance with paragraphs 62-555.320(3) (d) 62-555.320 (3) (b), and 62-555.320 (21) (c), F.A.C. The lead use prohibition in rule 62-555.322, F.A.C. shall also apply. Polyethylene tubing shall be per AWWA C901. Underground service lines, and valves shall be per AWWA C800.

COLOR Coding
All water main pipe, including fittings shall be color coded or marked blue as a predominate color to differentiate drinking water from reclaimed water or other water. Underground plastic pipe shall be solid-wall blue pipe, shall have a co-extruded blue external skin, or shall be white or black pipe with blue stripes incorporated into, or applied to, the pipe wall; and underground metal or concrete pipe shall have blue striped applied to the pipe wall. Pipe striped during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, that are located at no greater than 90° intervals around the pipe, and will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an internal diameter of 24 inches or greater, tape or paint shall be applied in continuous lines along each side of the pipe as well as along the top of the pipe. Aboveground pipe as drinking water treatment plants shall be color coded and labeled in accordance with subsection 62-555.320(10), F.A.C., and all other aboveground pipe shall be painted blue or shall be color coated or marked like underground pipe.

Utility Construction Notes (DEP)
62-555.314 Location of Public Water System Mains:
For the purpose of this section, the phrase "Water Mains" shall mean Mains, including treatment Plant process piping, conveying either raw, partially treated, or finished drinking water; Fire Hydrant leads; and service lines that are under the control of a public Water System and that have an inside diameter of three (3") inches or greater.

(1) Horizontal Separation Between Underground Water Mains and Sanitary or Storm Sewers, Wastewater or Storm Water Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems:
(a) New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) Three Feet between the outside of the WATER MAIN and the outside of any existing or proposed Storm Sewer Water Force Main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.

PIPE CLEARANCE NOTES
GU0016-2
ISSUED: 2017
REVISED: -

Utility Construction Notes (DEP) (CONTINUED)

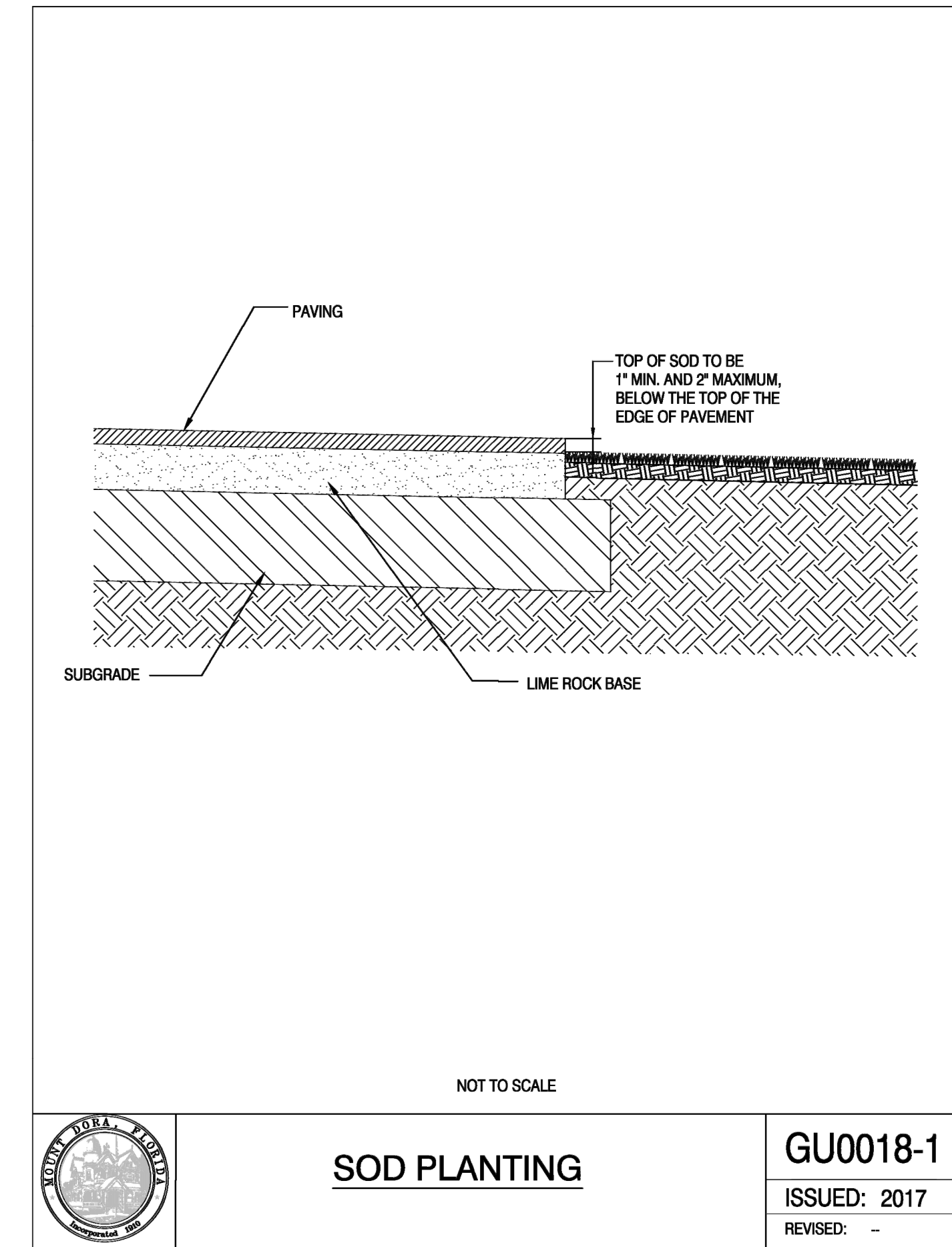
(b) New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) three feet, and preferably (10) Ten Feet, between the outside of the WATER MAIN and the outside of any existing or proposed vacuum-type Sanitary Sewer.

(c) New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (6) Six Feet and preferably (10) Ten Feet, between the outside of the WATER MAIN and the outside of any existing or proposed Gravity- or Pressure-type Sanitary Sewer, Wastewater Force Main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610 F.A.C. The minimum Horizontal Separation distance between WATER MAINS and Gravity-type Sanitary Sewers shall be reduced to (3) Three Feet where the BOTTOM of the WATER MAIN is laid at least (6) Six Inches above the Top of the Sewer.

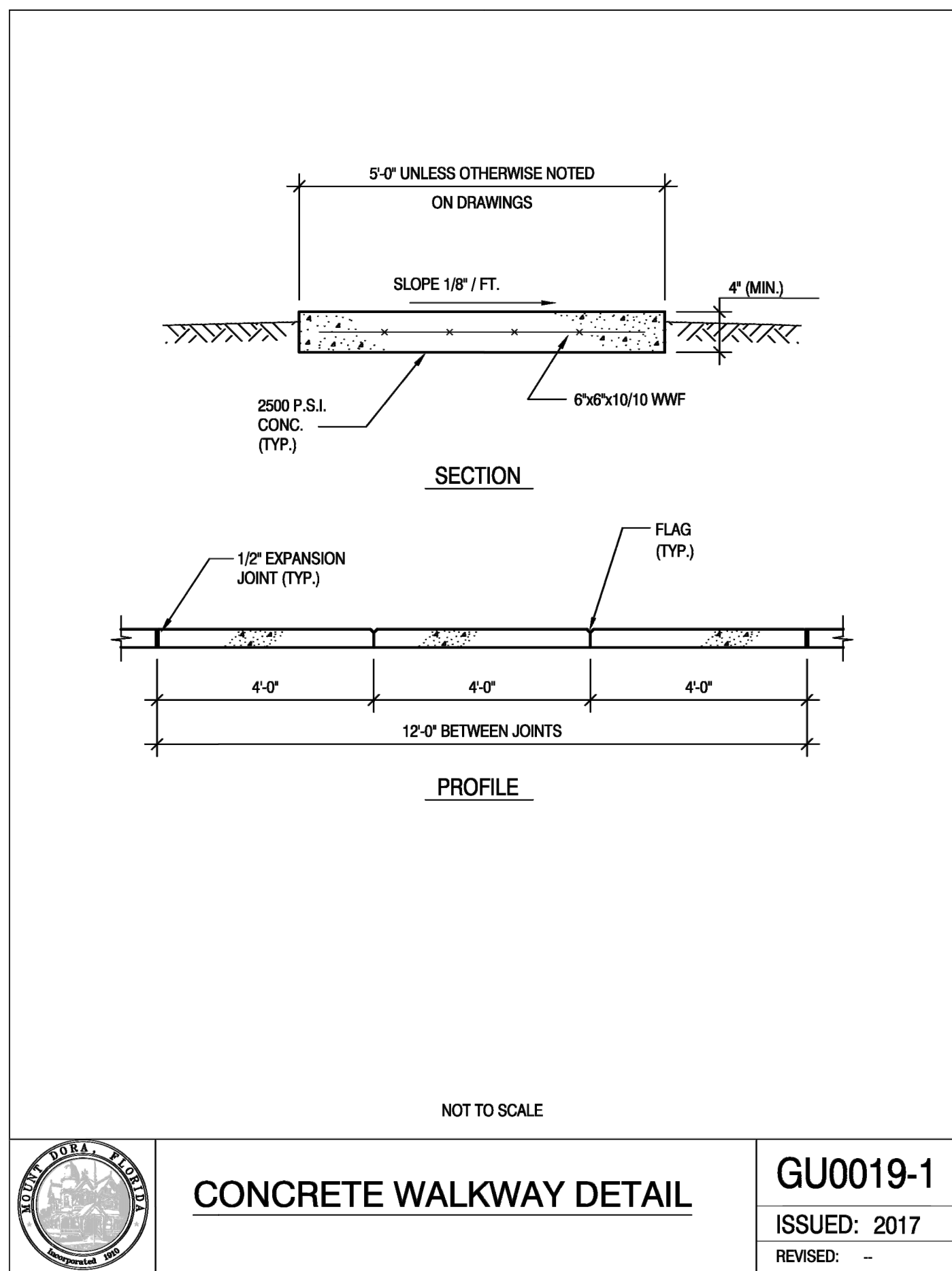
(d) New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (10) Ten Feet between the outside of the WATER MAIN and all parts of any existing or proposed "On-site Sewage Treatment and Disposal System" as defined in Section 381.006(2), F.S. and Rule 64E-6.002, F.A.C.

(2) Vertical Separation Between Underground WATER MAINS and Sanitary or Storm Sewers, Wastewater or Storm Water Force Mains, and Reclaimed Water Pipelines:
(a) New or relocated underground WATER MAINS crossing any existing or proposed gravity- or vacuum-type sanitary sewer or storm sewer shall be laid so the outside of the WATER MAIN is at least (6) Six inches, and preferably 12 inches above, or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the WATER MAIN "ABOVE" the other pipeline.
(b) New or relocated, Underground WATER MAINS crossing any existing or proposed pressure-type sanitary sewer, wastewater or stormwater Force Main, or Pipeline conveying reclaimed water shall be laid so the outside of the WATER MAIN is at least (12) inches ABOVE or BELOW the Outside of the other pipeline. However, it is preferable to lay the WATER MAIN above the other pipeline.
(c) At the Utility crossings described in paragraphs (a) & (b) Above, one full length of Water Main Pipe shall be centered above or below the other pipeline so the WATER MAIN joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all WATER MAIN Joints are at least (3) Three feet from all joints in Vacuum-type Sanitary Sewers, Storm Sewers, Stormwater Force Mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least (6) Six Feet from all joints in Gravity- or Pressure- type Sanitary Sewers, Wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.
(3) Separation Between WATER MAINS and Sanitary or Storm Sewer Manholes:
(a) No WATER MAIN shall pass thru, or come into contact with any part of a Sanitary Manhole.
(4) Separation Between Fire Hydrant Drains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, reclaimed Water Pipelines, and On-Site Sewage Treatment and Disposal Systems. New or relocated Fire Hydrants with underground Drains shall be located so that the drains are at least (3) Three Feet from any existing or proposed storm sewer, Stormwater force main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.; at least (3) Three Feet, and preferably (10) Ten Feet, from any existing or proposed gravity- or Pressure-type Sanitary Sewer, Wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.; and at least (10) Ten Feet from any existing or proposed "on-site sewage treatment and disposal system" as defined in Section 381.006(2), F.S. and Rule 64E-6.002, F.A.C.
(5) Exceptions/Mitigation:
Adhere to the above Constraints and Separations in Items 1 through 4 shall be Compiled to, "WITHOUT EXCEPTION". If for some reason where it is not technically feasible or Economically Sensible that Items 1 through 4 cannot be complied with, Contractor will Stop Work and Notify the Engineer of record for the appropriate solution which will be submitted to "The Department of Environmental Protection" for APPROVAL, prior to work commencement.

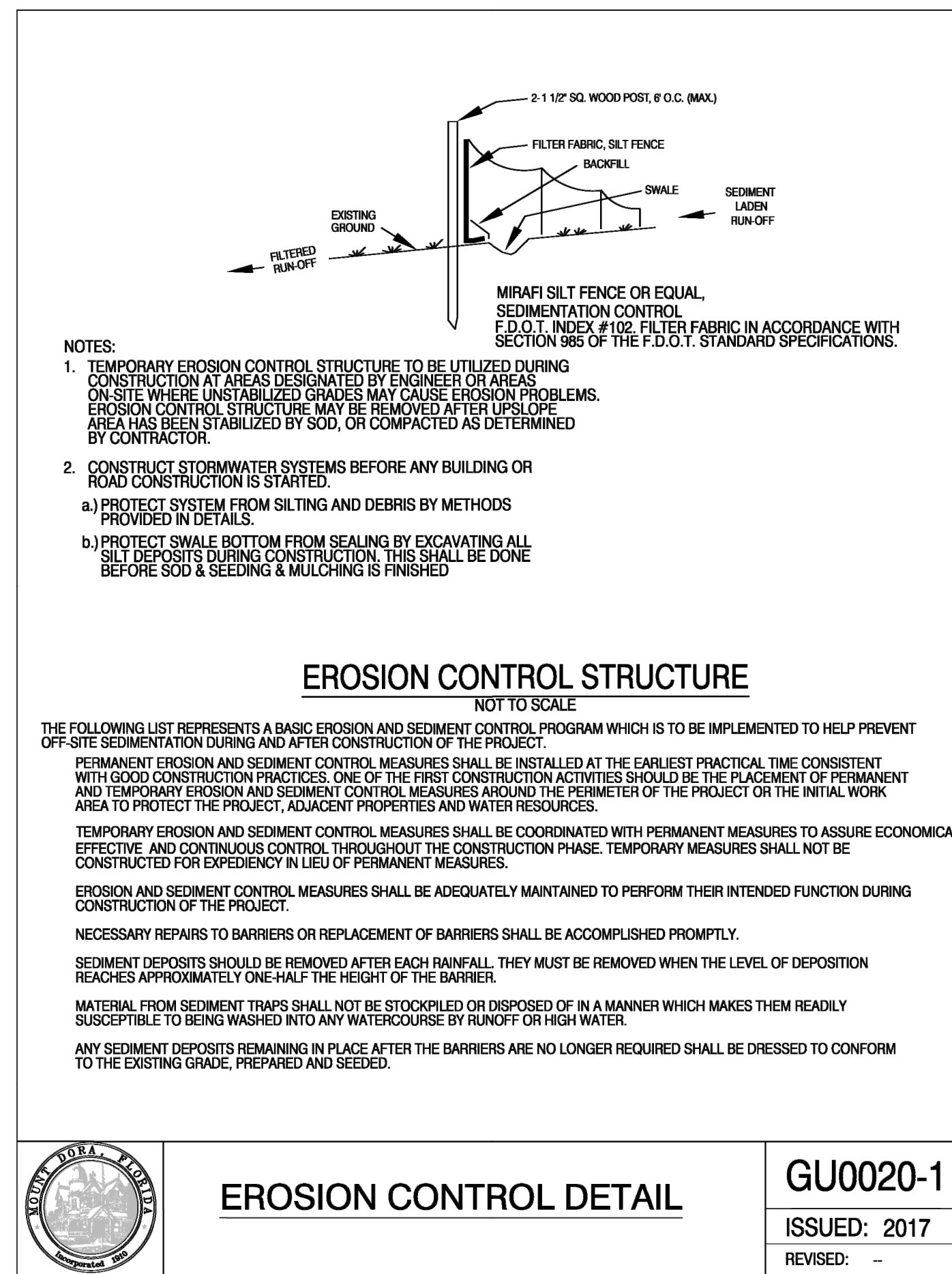
PIPE CLEARANCE NOTES
GU0016-2B
ISSUED: 2017
REVISED: -



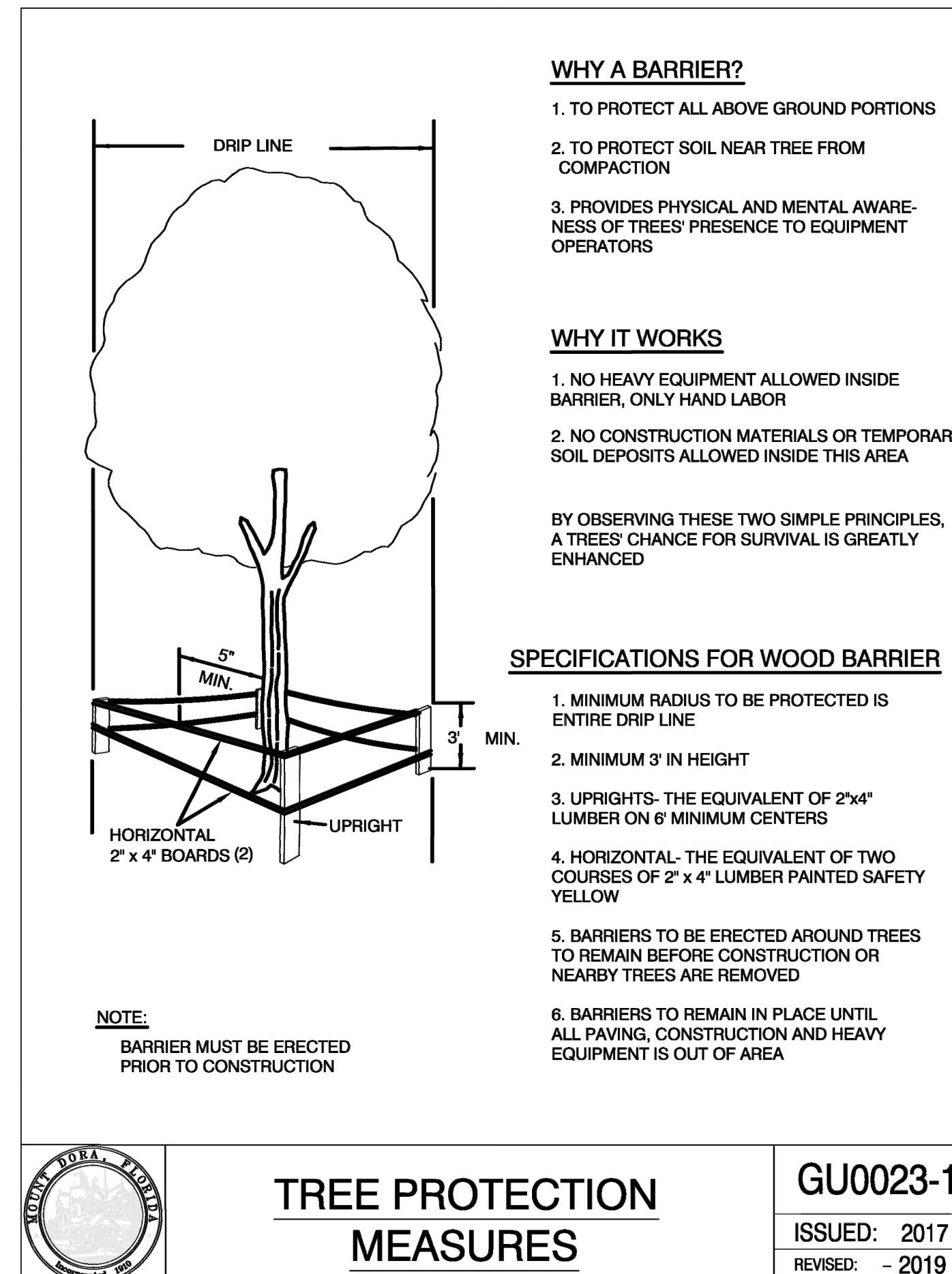
SOD PLANTING
GU0018-1
ISSUED: 2017
REVISED: -



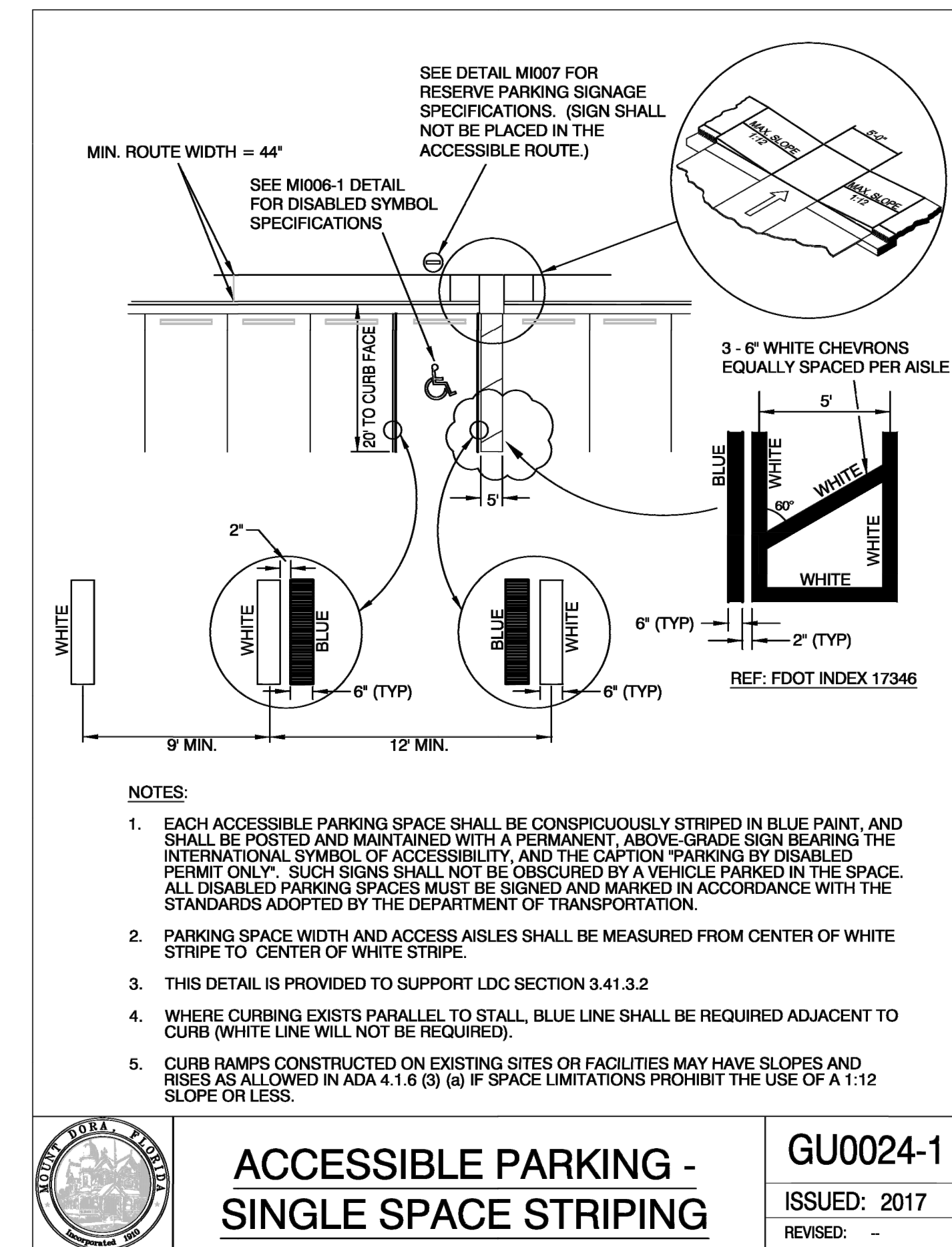
CONCRETE WALKWAY DETAIL
GU0019-1
ISSUED: 2017
REVISED: -



EROSION CONTROL DETAIL
GU0020-1
ISSUED: 2017
REVISED: -



TREE PROTECTION MEASURES
GU0023-1
ISSUED: 2017
REVISED: - 2019



ACCESSIBLE PARKING - SINGLE SPACE STRIPING
GU0024-1
ISSUED: 2017
REVISED: -

REVISIONS	DATE	BY
1	6/20/24	SAT
2	5/20/25	SAT
3	9/20/25	SAT

SCALE: NOTED
DESIGNED BY DAH
DRAWN BY DAH
CHECKED BY DAH

DESIGN ENGINEER: CHAD S. LINN
FLORIDA REGISTRATION NUMBER: 57524
SEAL

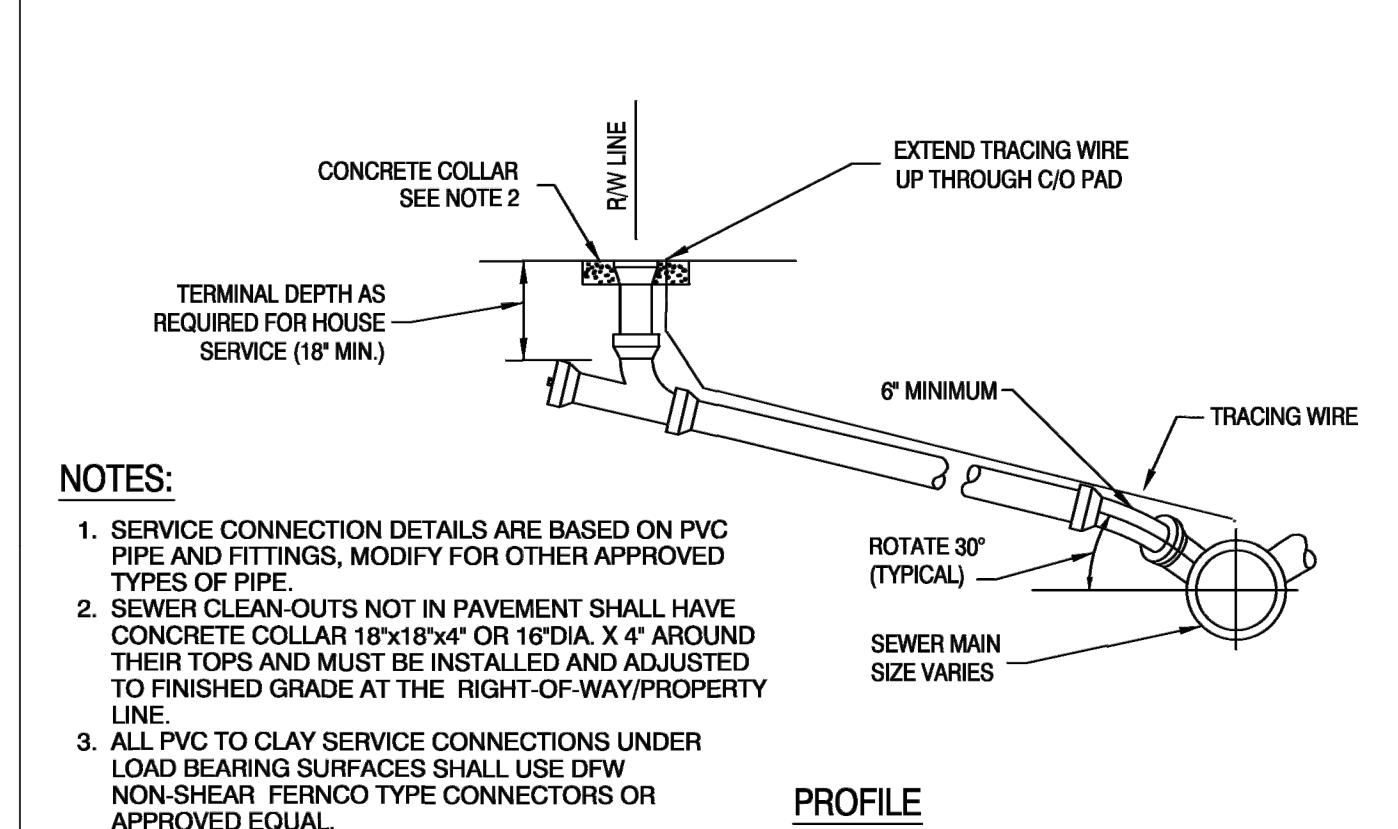
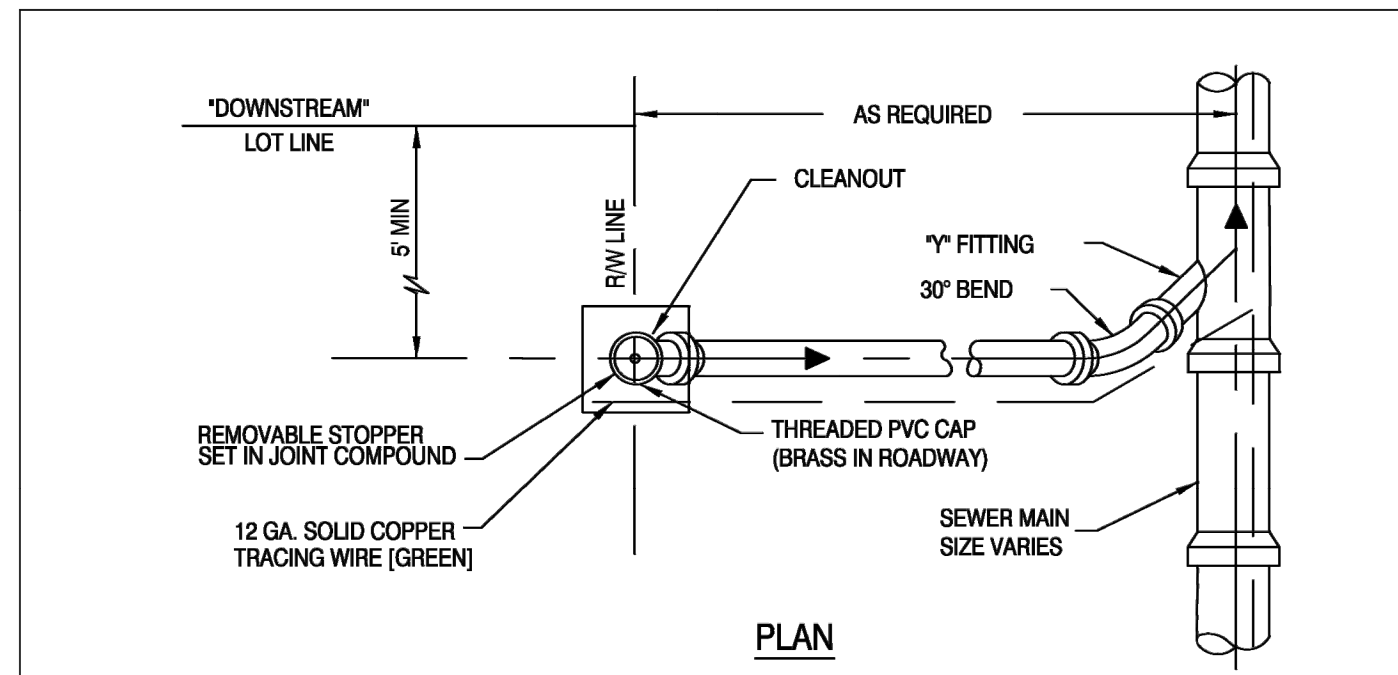
REVISIONS

CONSTRUCTION DETAILS

CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757

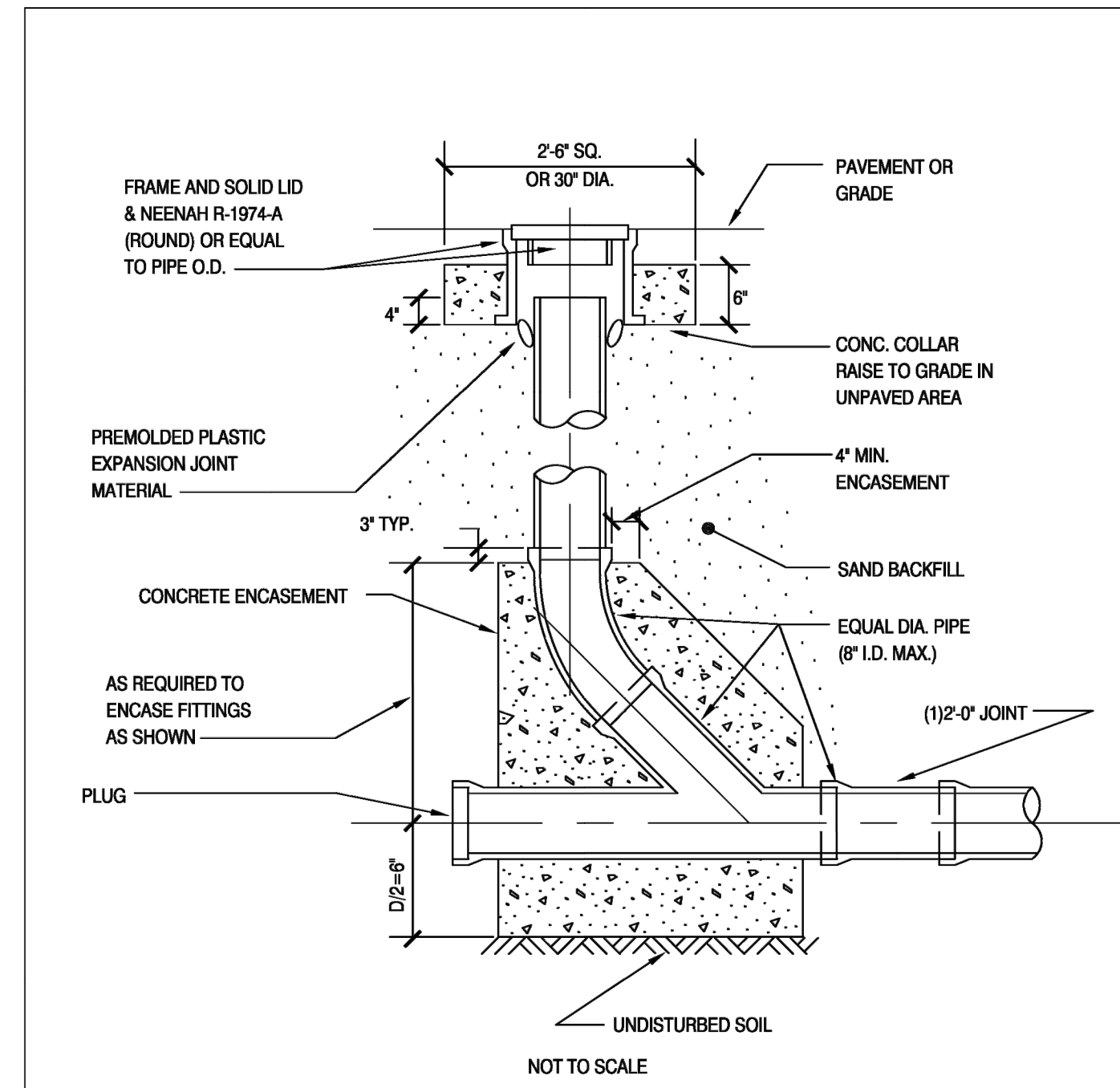
DATE 07/23
PROJECT NO. 80900-23-100
SHEET NUMBER C11

Drawing name: Z:\Projects\80900 - Create Conservatory\23-100 4900 Lake Park CT\Cadd-Civil\C10 - Create Conservatory construction details.dwg C12 Details Feb 17, 2026 2:32pm by: Doug



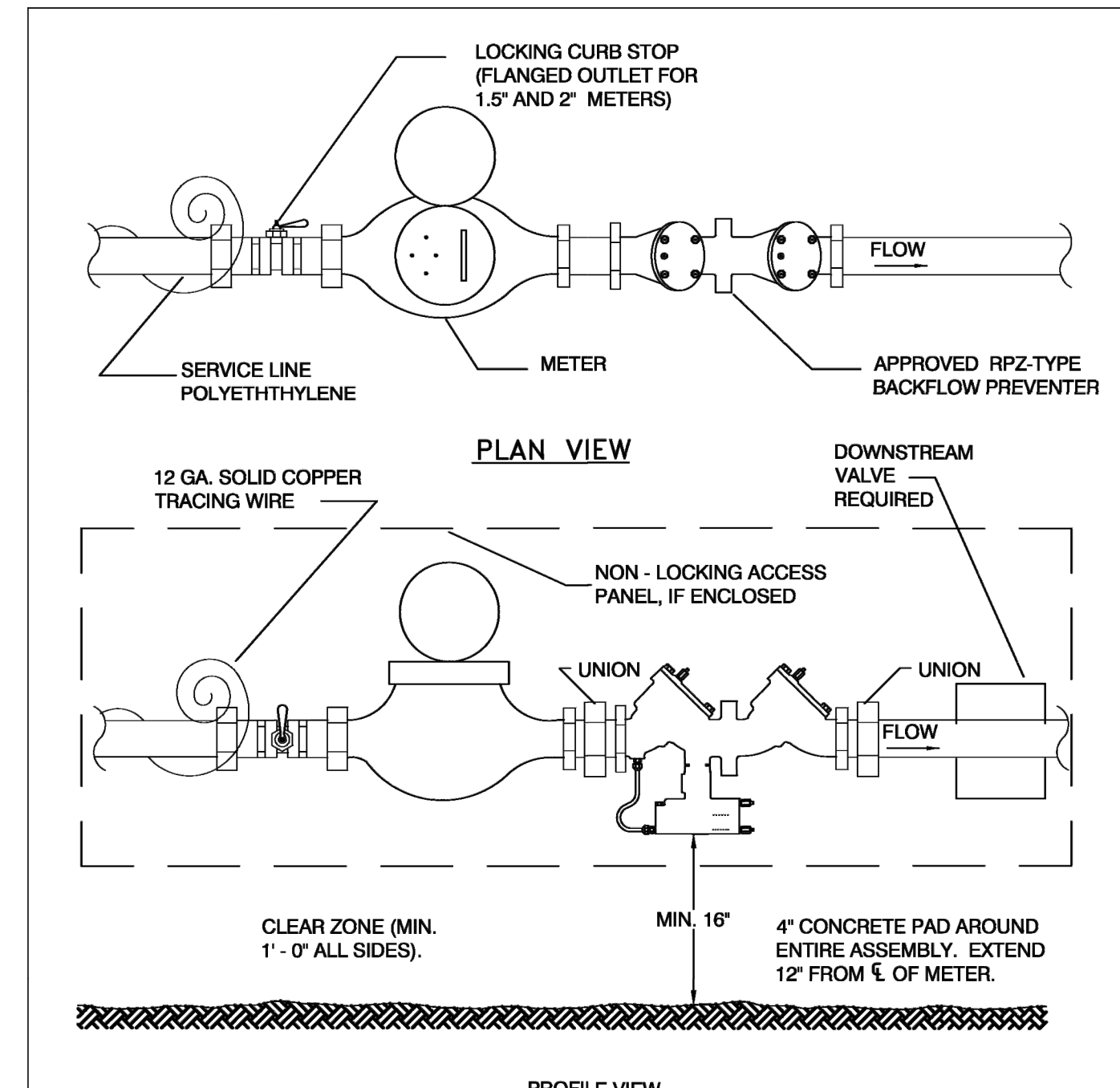
- NOTES:**
1. SERVICE CONNECTION DETAILS ARE BASED ON PVC PIPE AND FITTINGS. MODIFY FOR OTHER APPROVED TYPES OF PIPE.
 2. SEWER CLEAN-OUTS NOT IN PAVEMENT SHALL HAVE CONCRETE COLLAR 18"x18"x4" OR 18"DIA. X 4" AROUND THEIR TOPS AND MUST BE INSTALLED AND ADJUSTED TO FINISHED GRADE AT THE RIGHT-OF-WAY/PROPERTY LINE.
 3. ALL PVC TO CLAY SERVICE CONNECTIONS UNDER LOAD BEARING SURFACES SHALL USE DFW NON-SHEAR FERNCO TYPE CONNECTORS OR APPROVED EQUAL.
 4. 90° FITTINGS ARE PROHIBITED. MINIMUM 6" SPOOL BETWEEN 45° FITTINGS.
 5. DOUBLE SERVICE CONNECTIONS ARE PERMITTED. MINIMUM 6" PIPE REQUIRED.
 6. CLEANOUTS IN SIDEWALKS SHALL BE HOUSED IN METER BOX.

	TYPICAL SEWER CONNECTION	SS001-1
	ISSUED: 2017	
	REVISED: -	



- NOTES:**
1. ALL METERS UP TO AND INCLUDING 2" SHALL BE NEPTUNE MODEL T10 INSTALLED BY THE CITY.
 2. LOCATION SHALL BE COORDINATED WITH UTILITY BILLING & PUBLIC SERVICES DEPARTMENT.
 3. SERVICE LINES SHALL NOT BE LESS THAN METER SIZE.
 4. BOLLARDS MAY BE REQUIRED IN TRAFFIC AREAS OR LOCATIONS IMMEDIATELY ADJACENT TO TRAFFIC AREAS.
 5. PROVIDE PIPE SUPPORTS WHERE NEEDED.

	GRAVITY CLEANOUT	SS014-1
	ISSUED: 2017	
	REVISED: -	



- NOTES:**
1. ALL METERS UP TO AND INCLUDING 2" SHALL BE NEPTUNE MODEL T10 INSTALLED BY THE CITY.
 2. LOCATION SHALL BE COORDINATED WITH UTILITY BILLING & PUBLIC SERVICES DEPARTMENT.
 3. SERVICE LINES SHALL NOT BE LESS THAN METER SIZE.
 4. BOLLARDS MAY BE REQUIRED IN TRAFFIC AREAS OR LOCATIONS IMMEDIATELY ADJACENT TO TRAFFIC AREAS.
 5. PROVIDE PIPE SUPPORTS WHERE NEEDED.

	POTABLE WATER INDIVIDUAL ABOVE GROUND METER SET	PW010-1
	ISSUED: 2017	
	REVISED: -	

REVISIONS	DATE	BY
1	6/2024	SAT
2	5/2025	SAT
3	9/2025	SAT

LIN ENGINEERING & DESIGN, INC.
P.O. BOX 140024
ORLANDO, FL 32814
PHONE: 407-775-5194
clin@linengineering.com
CA LIC. NO. 31710

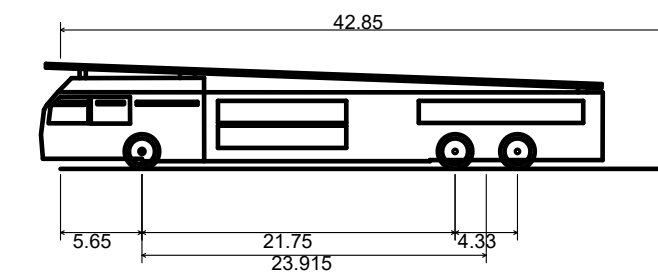
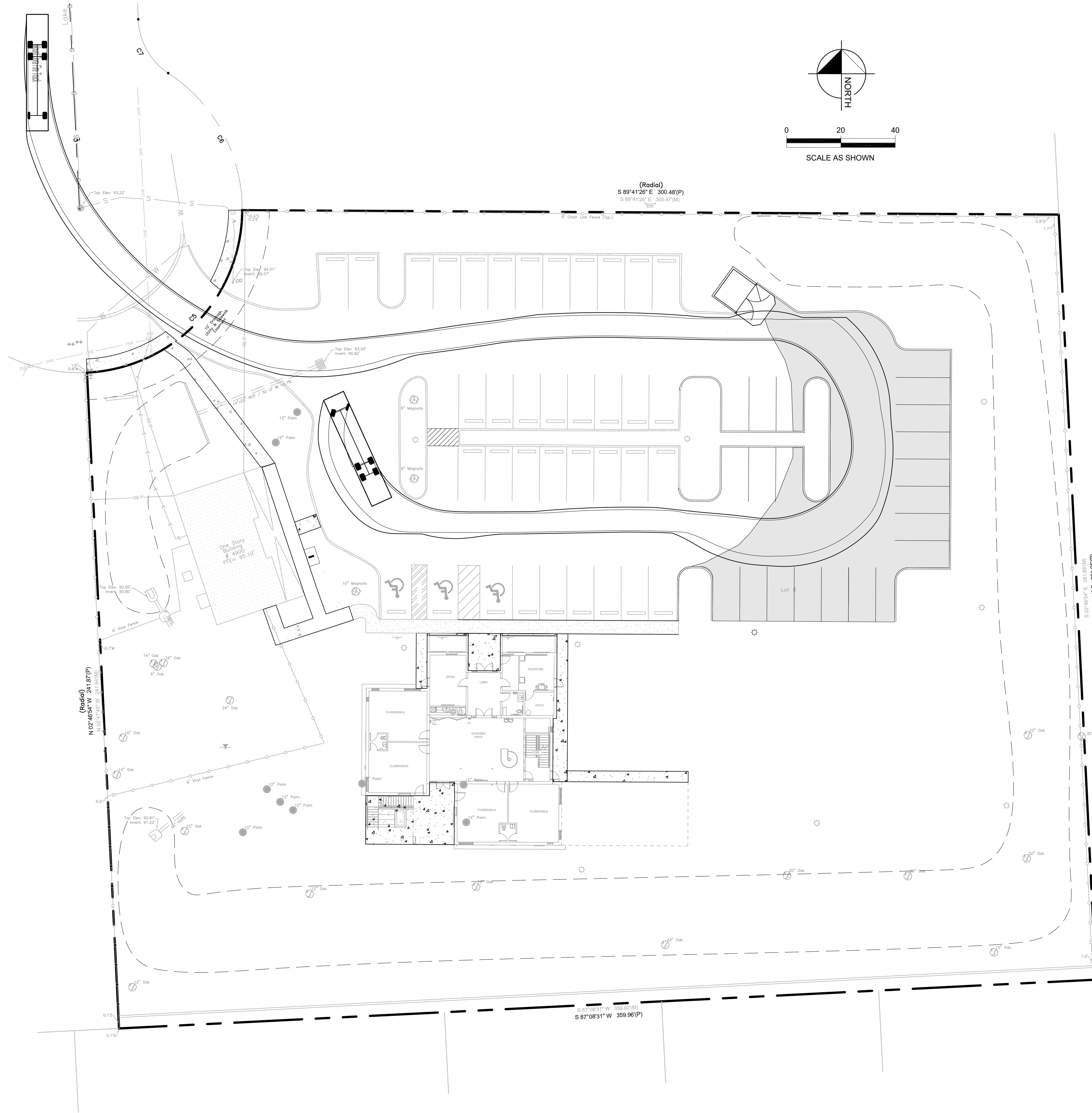
DESIGN ENGINEER:	CHAD S. JINN	SEAL
FLORIDA REGISTRATION NUMBER:	57524	
SCALE:	NOTED	
DESIGNED BY:	DAH	
DRAWN BY:	DAH	
CHECKED BY:	DAH	

**CONSTRUCTION
DETAILS**

CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757
FLORIDA
MT DORA

DATE	07/23
PROJECT NO.	80900-23-100
SHEET NUMBER	C12

Drawing name: Z:\Projects\80900 - Create Conservatory\23-100 4900 Lake Park C\Add-Civil\C11 - Create Conservatory Phasing Fire Route.dwg c13 Fire Feb 17, 2026 2:55pm by Doug



Mount Dora Fire Truck
Overall Length 42.850ft
Overall Width 8.000ft
Overall Body Height 7.280ft
Min Body Ground Clearance 0.530ft
Track Width 6.910ft
Lock-to-lock time 5.00s
Curb to Curb Turning Radius 40.420ft

REVISIONS	DATE	BY
REVISOR PER CITY COMMENTS	6/2024	SAT
REVISOR PER CITY COMMENTS	5/2025	SAT
REVISOR PER CITY COMMENTS	9/2025	SAT

LIJN ENGINEERING & DESIGN, INC.
P.O. BOX 140024
ORLANDO, FL 32814
PHONE: 407-775-5194
clijn@linengineering.com
CA LIC. NO. 31710

DESIGN ENGINEER:
CHAD S. LIJN
FLORIDA REGISTRATION NUMBER:
57524
SEAL

SCALES NOTED
DESIGNED BY DAH
DRAWN BY DAH
CHECKED BY DAH

FIRE TRUCK ROUTE

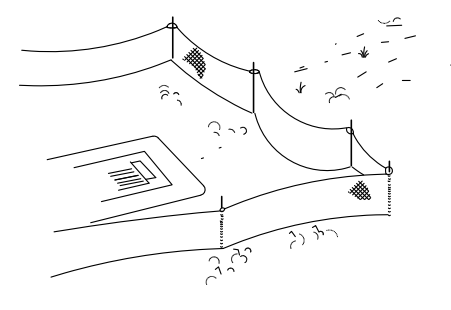
FLORIDA

**CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757**

MT DORA

DATE
07/23
PROJECT NO.
80900-23-100
SHEET NUMBER
C13

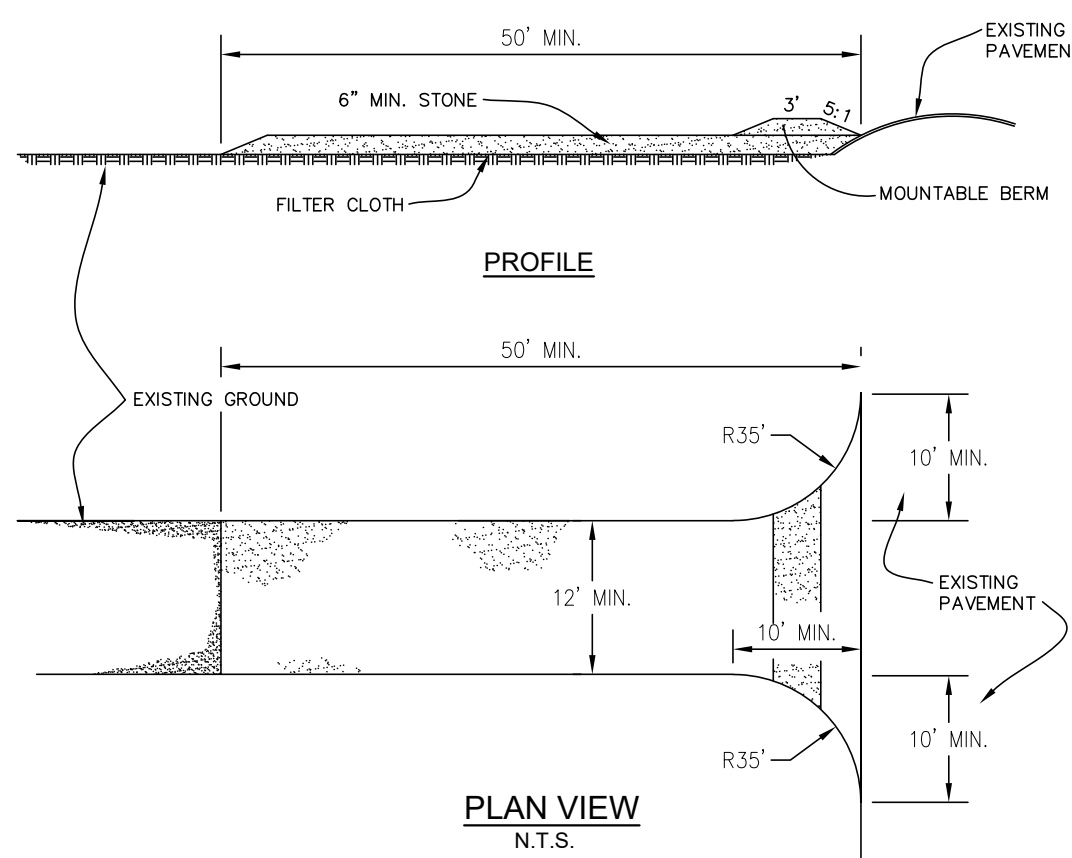
SILT FENCE APPLICATIONS



Type III Silt Fence Protection Around Ditch Bottom Inlets.

PUT FILTER FABRIC UNDER GRATE

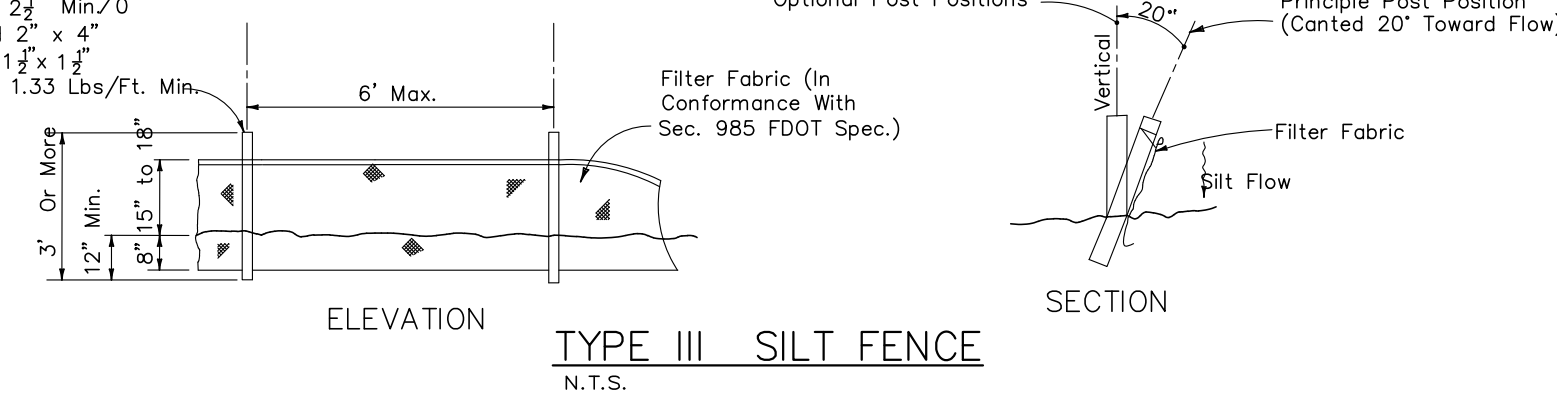
Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.



STABILIZED CONSTRUCTION ENTRANCE

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVED SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Post Options:
Wood 2" Min./0
Wood 2" x 4"
Oak 1 1/2" x 1 1/2"
Steel 1.33 Lbs/Ft. Min.



TYPE III SILT FENCE N.T.S.

BEST MANAGEMENT PRACTICES:

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), THE MUNICIPALITY LAND DEVELOPMENT REGULATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD). THE PLAN ADDRESSES THE FOLLOWING AREAS:

- GENERAL EROSION CONTROL.
- PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION.
- CONTROL OF WIND EROSION.

THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION

SECTION 1 GENERAL EROSION CONTROL:

- GENERAL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL POND SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION ACTIVITIES.
- SLOPES OF BANKS OF RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3H:1V FROM TOP OF BANK TO POND BOTTOM.
- SOD SHALL BE PLACED FOR A MIN. 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.

SECTION 2 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION:

- SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BEST MANAGEMENT PRACTICES IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.
 - WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
 - EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
 - IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 - STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS SHOWN ON THIS SHEET. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
 - HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
 - SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
 - WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.
 - ALL PAINT(S) AND OTHER HAZARDOUS MATERIALS SHALL BE CONTAINED WITHIN A SINGLE ON-SITE AREA WITHIN SEALED CONTAINERS.
 - INSPECTION AND MAINTENANCE PROCEDURES FOR CONTROL MEASURES IDENTIFIED IN THE PLAN:
 - THE CONTRACTOR IS REQUIRED TO PROVIDE A QUALIFIED INSPECTOR TO PERFORM AND DOCUMENT REQUIRED INSPECTIONS.
 - ALL DISTURBED AREAS, STORAGE AREAS, AND CONSTRUCTION EXITS MUST BE INSPECTED. THIS INCLUDES OFF-SITE CONSTRUCTION AREAS.
 - INSPECTIONS MUST BE COMPLETED ONCE EVERY SEVEN DAYS AND/OR WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER (CONTRACTOR TO PROVIDE AN ON-SITE RAIN GAUGE AND PROVIDE DAILY RECORDING OF RAIN EVENTS).
 - ALL AREAS OF UNSATISFACTORY CONTROLS (INCLUDING EXISTING CONTROL MEASURES OR AREAS REQUIRING ADDITIONAL CONTROL MEASURES) SHALL BE REPAIRED/MAINTAINED/INSTALLED WITHIN 24 HOURS OF THE OBSERVANCE OR PRIOR TO AN ANTICIPATED RAIN EVENT IF FORECAST SOONER THAN 24 HOURS.
 - ALL WATER RUNOFF RESULTING FROM SOURCES OTHER THAN RAINFALL EVENTS (I.E. BLOW-OFF FROM HYDRO-STATIC TESTING, PROCESS WATER FROM VEHICLE WASHDOWN, ETC.) SHALL BE DIRECTED TOWARDS THE ON-SITE SURFACE WATER MANAGEMENT SYSTEM, WHETHER IN TEMPORARY OR FINAL CONDITION, SO THAT IT HAS NO ADVERSE IMPACTS TO DOWNSTREAM WATER QUALITY CONDITIONS.

SECTION 3 CONTROL OF WIND EROSION:

- WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
 - BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
 - AS SOON AS PRACTICAL AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.
 - AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES. IF REQUIRED, DUST CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STANDARDS.

CLEARING AND SITE PREPARATION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE EROSION CONTROL DEVICES, AS SHOWN ON THE CONSTRUCTION PLANS, PRIOR TO ANY SITE CLEARING AND/OR DEMOLITION. REFER TO THE "EROSION CONTROL NOTES" SECTION CONTAINED HEREIN FOR ADDITIONAL REQUIREMENTS.
- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN, AS INDICATED ON THE CONSTRUCTION PLANS, SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES, AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE(S) SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND THE LOCAL AGENCY HAVING JURISDICTION OVER THESE ACTIVITIES.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. ALL DISTURBED AREAS MUST BE SEED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL. IMMEDIATELY FOLLOWING CONSTRUCTION.
- THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING ACTIVITIES SHALL BE STOCKPILED, TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE, PROVIDED THE MATERIAL IS DEEMED SUITABLE BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO EITHER BE STOCKPILED ON-SITE, AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING ANY EXCESS MATERIAL FROM THE SITE.
- ALL EXISTING DEBRIS (ABOVE OR BELOW GROUND), CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
- THE CONTRACTOR IS TO PREPARE THE SITE IN ACCORDANCE WITH THE SOILS REPORT, COPIES OF WHICH ARE AVAILABLE THROUGH THE OWNER OR SOILS TESTING COMPANY DIRECTLY.
- CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY CONSTRUCTION FENCE AROUND ENTIRE PERIMETER OF PROPERTY. TYPE OF FENCE TO BE SUBMITTED BY CONTRACTOR TO ENGINEER FOR APPROVAL.
- CONTRACTOR SHALL MAINTAIN STORMWATER MANAGEMENT SYSTEM TO INSURE NO DAMAGE TO ADJACENT PROPERTIES OCCURS DURING STORM EVENTS.
- DISTURBED AREA(S) WITHIN THE ROW WILL COMPACTED TO 98% OF MAXIMUM DENSITY AND SODDED.
- DO NOT DISTURB EXISTING UNDERDRAIN OR STORM SYSTEMS.
- NO STOCKPILING OF MATERIAL IN ROADWAY OR ON SIDEWALK; ALL DIRT AND DEBRIS WILL BE REMOVED FROM JOB SITE DAILY. ROADS AND SIDEWALK TO BE SWEEP DAILY AS PART OF DAILY CLEAN-UP.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER. CONTRACTOR SHALL PROVIDE TO ENGINEER PHOTOGRAPH OF PRE-CONSTRUCTION CONDITIONS AND POST-CONSTRUCTION CONDITIONS AS REQUESTED BY ENGINEER.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION.
- REMOVE WASTE MATERIALS AND UNSUITABLE AND EXCESS TOPSOIL FROM PROPERTY AND DISPOSE OF OFF SITE IN A LEGAL MANNER.
- DURING PREPARATION OF THE SUB GRADE AND UNTIL THE PAVING IS IN PLACE, THE CONTRACTOR SHALL PROMPTLY TAKE REASONABLE MEASURES TO OBTAIN AND MAINTAIN A DRY SITE CONDITION. SUCH MEASURES SHALL INCLUDE PUMPING OF FREE SURFACE WATER, MINOR HAND AND/OR MACHINE SHAPING OF FACILITATE WATER REMOVAL, AND OTHER OPERATIONS TO SPEED DRYING.
- ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE OWNER, THE OWNERS ENGINEERS, OR OWNERS SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
- THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS.

EROSION AND SILTATION CONTROL:

- GENERAL - ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION. DURING CONSTRUCTION, DENuded AREAS SHALL BE COVERED BY MULCHES SUCH AS STRAW, HAY AND FILTER FABRIC. ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS OR HAY BALES. THESE SHALL BE MAINTAINED AND MODIFIED DURING THE CONSTRUCTION PROCESS TO MINIMIZE DOWNSTREAM SILTATION. WHEN CONSTRUCTION IS COMPLETED, DETENTION AREAS WILL BE RESHAPED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SODDED TO PROPERLY DETAIN THE INTENDED STORM QUANTITIES.
- PROTECTION AND STABILIZATION OF ON-SITE SOIL STOCKPILES - FILL MATERIAL STOCKPILES SHALL BE PROTECTED AT ALL TIMES BY ON-SITE DRAINAGE CONTROLS WHICH PREVENT EROSION OF THE STOCKPILED MATERIAL. CONTROL OF DUST FROM SUCH STOCKPILES MAY BE REQUIRED, DEPENDING UPON THEIR LOCATION AND THE EXPECTED LENGTH OF TIME THE STOCKPILES WILL BE PRESENT. IN NO CASE SHALL ANY UNSTOCKPILED MATERIAL REMAIN MORE THAN THIRTY (30) CALENDAR DAYS AFTER SUBSTANTIAL PROJECT COMPLETION.
- PROTECTION OF EXISTING STORM SEWER SYSTEMS - DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS, AND WHICH MUST BE APPROVED BY THE ENGINEER BEFORE INSTALLATION.
- SEDIMENT BASINS AND TRAPS, SEDIMENT TRAPPING MEASURES: PERIMETER BERMS, SEDIMENT BARRIERS, VEGETATIVE BUFFERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT AND/OR PREVENT THE TRANSPORT OF SEDIMENT ONTO ADJACENT PROPERTIES, OR INTO EXISTING BODIES OF, MUST BE INSTALLED, CONSTRUCTED OR, IN THE CASE OF VEGETATIVE BUFFERS, PROTECTED FROM DISTURBANCE, AS A FIRST STEP IN THE LAND ALTERATION PROCESS. SUCH SYSTEMS SHALL BE FULLY OPERATIVE BEFORE ANY OTHER DISTURBANCE OF THE SITE BEGINS. EARTHEN STRUCTURES INCLUDING BUT NOT LIMITED TO BERMS, EARTH FILTERS, DAMS OR DIKES SHALL BE STABILIZED AND PROTECTED FROM DRAINAGE DAMAGE OR EROSION WITHIN ONE WEEK OF INSTALLATION.
- ALL SWALES, DITCHES AND CHANNELS: CHANNELS LEADING FROM THE SITE SHALL BE SODDED WITH ARGENTINE BAHIA WITHIN THREE (3) DAYS OF EXCAVATION.
- THE CONSTRUCTION OF UNDERGROUND UTILITY CONSTRUCTION: UNDERGROUND UTILITY LINES AND OTHER STRUCTURES SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - NO MORE THAN 500 LINEAR FEET OF TRENCH SHALL BE OPEN AT ANY ONE TIME;
 - WHEREVER CONSISTENT WITH SAFETY AND SPACE CONSIDERATION, EXCAVATED MATERIAL SHALL BE CAST TO THE UPHILL SIDE OF TRENCHES. TRENCH MATERIAL SHALL NOT BE CAST INTO OR ONTO THE SLOPE OF ANY STREAM, CHANNEL, ROAD, DITCH OR WATERWAY.
- ALL EROSION AND SILTATION CONTROL DEVICES SHALL BE CHECKED REGULARLY, ESPECIALLY AFTER EACH RAINFALL AND WILL BE CLEANED OUT AND/OR REPAIRED AS REQUIRED.

REVISIONS	DATE	BY
1	6/20/24	SAT
2	5/20/25	SAT
3	9/20/25	SAT

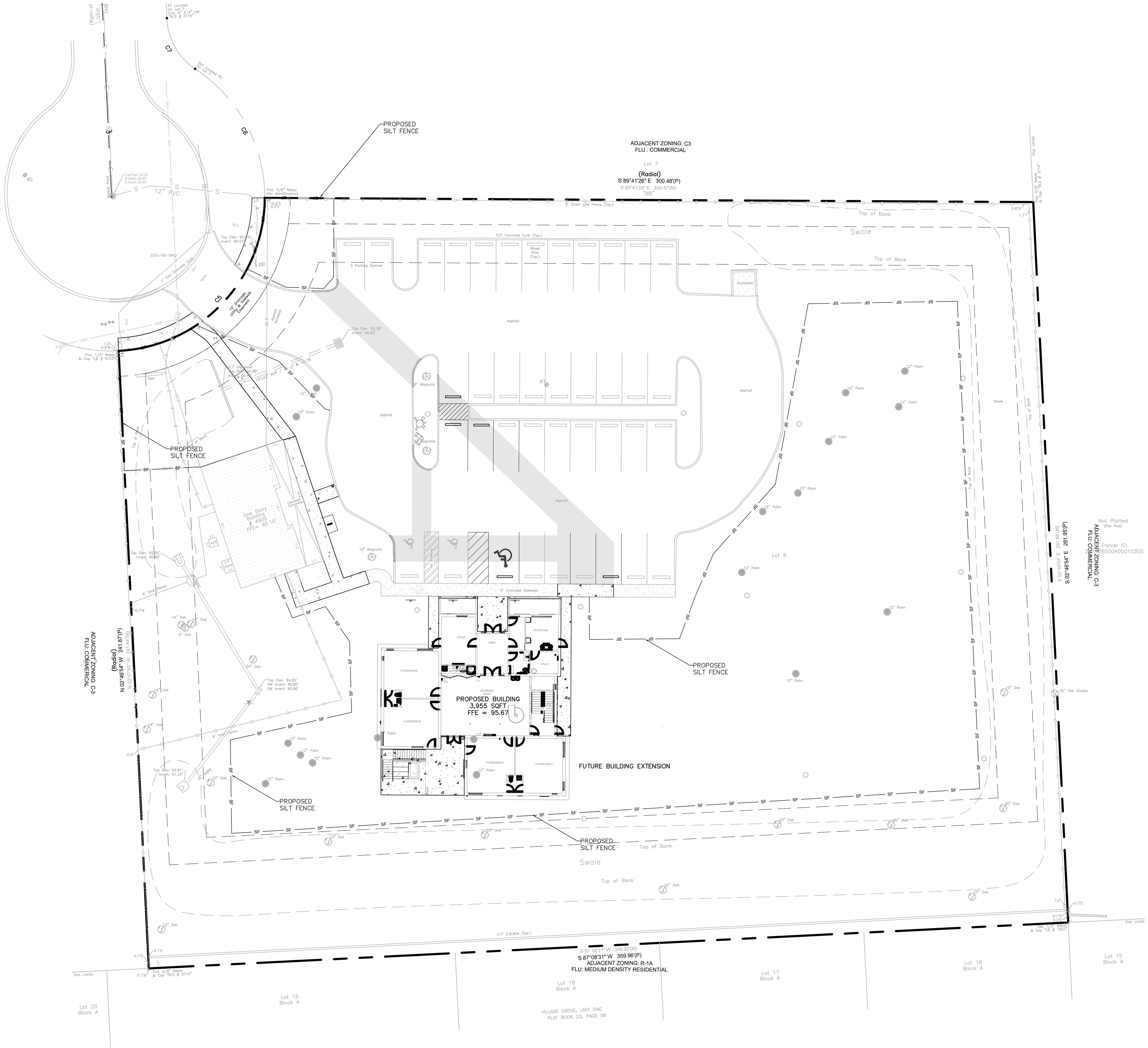
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EROSION CONTROL & STORMWATER POLLUTION PREVENTION PLAN

CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757
FLORIDA
MT DORA
DATE: 07/23
PROJECT NO.: 80900-23-100
SHEET NUMBER
SWPPP 1

Drawing name: Z:\Projects\80900 - Create Conservatory\23-100 4900 Lake Park CT\Cadd-Civil\C13 - SWPPP.dwg SWPPP 2 Feb 17, 2026 2:58pm by: Doug



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9/2025	SAT	

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DESIGN ENGINEER:
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 FLORIDA REGISTRATION NUMBER:
 57524

SEAL

EROSION CONTROL & STORMWATER POLLUTION PREVENTION PLAN

CREATE CONSERVATORY
 4900 LAKE PARK CT
 MT DORA FLORIDA 32757

DATE
 07/23
 PROJECT NO.
 80900-23-100
 SHEET NUMBER

SWPPP 2

GENERAL NOTES

- SEE CIVIL ENGINEERING DRAWINGS FOR GENERAL GRADING OF THE SITE, INCLUDING FINISH GRADES FOR PARKING LOTS, ROADWAYS, SIDEWALKS, AND PLANTING AREAS.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SITE PRIOR TO BIDDING THE WORK. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATION OF PROPOSED IMPROVEMENTS PRIOR TO INITIATING ANY CONSTRUCTION.
- LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS PRIOR TO INITIATING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY DAMAGE TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DO NOT MEET WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
- ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
- THE CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE. DURING THE COURSE OF THIS WORK, EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE.
- "FLORIDA LAW (F.S. 556) UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT MANDATES THAT EXCAVATOR/CONTRACTORS SHALL CONTACT SUNSHINE 811 (aka: SUNSHINE STATE ONE-CALL OF FLORIDA) BY CALLING 800-432-4770 OR 811 AT LEAST 2 FULL BUSINESS DAYS PRIOR TO THE BEGINNING ANY EXCAVATION OR DEMOLITION TO ALLOW MEMBER OPERATORS AN OPPORTUNITY TO IDENTIFY AND MARK THEIR UNDERGROUND FACILITIES AND APPROPRIATELY RESPOND TO THE POSITIVE RESPONSE SYSTEM.
- ALL EXISTING SITE ROADS, PARKING LOTS, CURBS, UTILITIES, SEWERS, AND OTHER ELEMENTS TO REMAIN SHALL BE FULLY PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE TO INCLUDE ALL NECESSARY ITEMS TO FULLY COMPLETE AN ASSEMBLY, SYSTEM, OR ITEM OF WORK AS SHOWN IN THE DRAWINGS, ANY ITEMS NOT IDENTIFIED OR SPECIFIED IN THESE DRAWINGS, BUT REQUIRED TO COMPLETE THE WORK SHALL BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PLACING ALL ITEMS OF WORK IN THE CORRECT LOCATIONS PER THE DRAWINGS. THIS MAY INCLUDE SURVEYING THE PROJECT SITE, DIGITAL DRAWING INFORMATION AND/OR NORTHING AND EASTING COORDINATES FOR USE BY THE CONTRACTOR CAN BE PROVIDED BY THE LANDSCAPE ARCHITECT UPON REQUEST. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR INACCURACIES IN THE BASE INFORMATION AND PROJECT COORDINATES PROVIDED BY THE CIVIL ENGINEER OR PROPERTY SURVEYOR THAT IS INCORPORATED BY REFERENCE IN THESE DRAWINGS.

LANDSCAPE NOTES

- THE CONTRACTOR SHALL REVIEW ARCHITECTURE/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUBSURFACE UTILITIES.
- THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES IN WRITING TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION WITHIN TWO WEEKS OF CONTRACT AWARD AND PRIOR TO THE COMMENCEMENT OF WORK. ALL REQUESTS FOR SUBSTITUTION DUE TO LACK OF AVAILABILITY MUST BE MADE TO THE OWNER'S REPRESENTATIVE IN WRITING WITHIN THIS PERIOD. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR EXHAUSTING ALL MEANS POSSIBLE TO OBTAIN THE MATERIALS AS SPECIFIED PRIOR TO REQUESTING SUBSTITUTION. IN ORDER TO BE CONSIDERED BY THE OWNER'S REPRESENTATIVE AS VIABLE ALTERNATES PLANTS MUST SHARE THE SAME GENERAL APPEARANCE/FORM, INSTALLATION SIZE, MATURE SIZE, COLOR, QUALITY AND GROWTH HABIT. MATERIALS MUST BE OFFERED AT NO ADDITIONAL COSTS TO THE OWNER.
- ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THIS WORK. CONTRACTOR SHALL ENSURE A MAINTAINED CLEARANCE OF ALL UTILITIES & FIRE HYDRANTS IN ACCORDANCE WITH THE FLORIDA FIRE PREVENTION CODE 165.7.1. CONTRACTOR SHALL ENSURE SIGHT TRIANGLE VISIBILITY IN ALL APPLICABLE ROADWAYS PER FDOT STANDARDS.
- PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. SUBMIT DATED PHOTOGRAPHS OF TREE MATERIAL AND SPECIMEN PLANT MATERIAL TO THE OWNER'S REPRESENTATIVE FOR REVIEW.
- ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. CONTAINER SIZE SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
- IF PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AT NO ADDED COST TO THE OWNER AND CONTINUE SPECIFIED MAINTENANCE UNTIL RESPECTED AND FOUND TO BE ACCEPTABLE.
- THE CONTRACTOR SHALL PROVIDE AN APPROVED PLANTING SOIL MIXTURE FOR ALL PLANT MATERIAL. SEE SPECIFICATIONS FOR REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS SHALL BE DONE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. IF INADEQUATE VERTICAL DRAINAGE IS ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR PROVIDING ADEQUATE DRAINAGE TO THE OWNER'S REPRESENTATIVE. IN WET OR POORLY DRAINING SOILS, THE CONTRACTOR SHALL INSTALL ALL PLANTS TO MAXIMIZE DRAINAGE AND MINIMIZE POOLING OF WATER AROUND PLANTINGS. THIS MAY INCLUDE LOOSENING OF EXISTING SOILS AND PROVIDING SOIL AMENDMENTS TO ENSURE ADEQUATE DRAINAGE.
- PEG SOD ON SLOPES GREATER THAN 1:3 (33% SLOPE).
- THE CONTRACTOR SHALL ENGAGE A QUALIFIED ARBORIST WHO HAS SUCCESSFULLY COMPLETED TREE PROTECTION AND TREE TRIMMING WITH FIVE YEARS OR MORE EXPERIENCE, TO PERFORM THE FOLLOWING WORK:
 - REMOVE BRANCHES FROM TREES THAT ARE TO REMAIN, IF REQUIRED, AS DIRECTED BY OWNER'S REPRESENTATIVE.
 - PERFORM INITIAL PRUNING OF BRANCHES TO ACCOMMODATE NEW CONSTRUCTION.
 - PERFORM TREE REPAIR WORK FOR DAMAGE INCURRED BY NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION SYSTEM FOR RELOCATION TREES.
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN AS SHOWN ON DRAWINGS OR BY MEANS APPROVED BY THE OWNER'S REPRESENTATIVE. ALL EXISTING PLANT BEDS TO REMAIN WITHIN THE CONSTRUCTION LIMIT LINE SHALL BE LEFT UNDISTURBED. EXISTING TREES TO REMAIN, AS NOTED ON THE DRAWINGS, SHALL BE LEFT UNDISTURBED AND PROTECTED BY WOODEN BARRICADES ERECTED AT THE PERIMETER OF THE TREE DRIP-LINE (S). NO VEHICLE SHALL TRAVERSE THIS AREA NOR SHALL ANY STORAGE OF MATERIALS OR EQUIPMENT BE PERMITTED WITHIN THE AREA OF THE TREE DRIP-LINE(S). ANY EXISTING PLANT BEDS OR TREES DAMAGED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED BY THE RESPONSIBLE PARTY AT THEIR OWN EXPENSE.
- CONTRACTOR TO CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING VEGETATION AS REQUIRED AND PREPARING PLANTING AREAS PRIOR TO INSTALLATION OF PLANT MATERIALS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ERADICATING WEEDS AND UNWANTED PERENNIAL VEGETATION WITHIN THE LIMITS OF ALL PLANTING AREAS PRIOR TO BEGINNING LANDSCAPE INSTALLATION. PERENNIAL WEEDS AND GRASSES TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO, NUT GRASS, PUNCTURE VINE, MORNING GLORY, DOCK FENNEL, TORPEDO GRASS, BERMLUDA GRASS, BAHIA GRASS, KIKUYU GRASS, CRAB GRASS, CARPET GRASS, SEDGE AND OTHER NOXIOUS AND/OR INVASIVE WEEDS. THE SITE IS TO BE MAINTAINED WEED FREE THROUGHOUT PLANTING OPERATIONS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PRE-TILLAGE TO SCARIFY SOILS IN ALL PLANTING AREAS TO A MINIMUM DEPTH OF 4". DENSELY COMPACTED AREAS BETWEEN 86% AND 90% ARE TO BE CROSS RIPPED TO A MINIMUM 8" DEPTH. IN THE PROCESS OF TILLING ARE UNACCEPTABLE MATERIALS INCLUDING, BUT NOT LIMITED TO, FOREIGN DEBRIS, SCREGE AND OTHER NOXIOUS AND/OR INVASIVE WEEDS. THE SITE IS TO BE MAINTAINED WEED FREE THROUGHOUT PLANTING OPERATIONS.
- ALL PLANTING BEDS SHALL BE STAKED IN ACCORDANCE WITH THE PLANS AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL PROVIDE STAKES OR IRRIGATION FIELDS TO LOCATE THE EDGES OF ALL SHRUBS AND GROUNDCOVER PLANT BEDS AND INDIVIDUAL TREES AND PALMS. ALL SHRUB AND GROUNDCOVER MATERIALS MUST BE LAID OUT IN THEIR CONTAINERS WITH THE APPROPRIATE SPACING FOR OWNER'S REPRESENTATIVE REVIEW AND APPROVAL. THE OWNER RESERVES THE RIGHT TO MAKE FIELD ADJUSTMENTS TO PLANT LAYOUT AS PART OF THIS REVIEW. FAILURE BY THE LANDSCAPE CONTRACTOR TO OBTAIN LAYOUT APPROVAL FROM THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION MAY RESULT IN THE REMOVAL AND REINSTALLATION OF MATERIALS BY THE CONTRACTOR AT NO ADDITIONAL COSTS TO THE OWNER. IF EXISTING CONDITIONS DO NOT ALLOW THE DESIGN TO BE LAID OUT AS SHOWN, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- UNLESS EXPLICITLY SHOWN ON DRAWINGS, NO TREES SHALL BE PLANTED WITHIN DESIGNATED UTILITY CORRIDORS, PUBLIC RIGHTS OF WAY NOR LOCATED WITHIN FOUR FEET (4') OF ANY SVALE CENTERLINE, BUILDING, OR STRUCTURE IDENTIFIED ON THE DRAWINGS OR EXISTING IN THE FIELD. NO CANOPY TREES SHALL BE PLANTED WITHIN 15 FEET OF EXISTING OVERHEAD POWER LINES, WITHIN 4 FEET OF ANY PAVED SURFACE, OR UNDER CANOPY TREES THAT LIMIT ACCESS TO LIGHT AND ROOM TO GROW. FIELD ADJUST AS NECESSARY AND REVIEW ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. TREES SHALL BE MAINTAINED AT A MINIMUM OF 13'-0" VERTICAL CLEARANCE OVER ROADWAYS OR OTHER FIRE DEPARTMENT ACCESS ROADS.
- ALL PROPOSED TREES SHALL BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED OUTLINES SHALL NOT BE OBSTRUCTED AND SHALL BE SMOOTH AND FLOWING. IF TREES ARE LOCATED OUTSIDE PLANTING BEDS IN GRASS AREAS, MAINTAIN A MINIMUM THREE FEET 3' WIDE OFFSET TO ALLOW FOR MOWERS TO MANUEVER.

- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXTENT OF SOD & TURF WORK IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SOD & TURF IN THE AREAS SHOWN ON THE PLAN IN SUFFICIENT QUANTITY TO PROVIDE FULL COVERAGE. ADDITIONAL GRASS REQUIRED WILL BE ADJUSTED BASED ON A SQUARE FOOTAGE UNIT PRICE. AREAS TO BE SODDED SHALL BE AMENDED PER SOILS REPORT TO PROVIDE REQUIRED NUTRIENTS AND SOIL PH OF BETWEEN 6.0 AND 7.0. ALL SOD SHALL BE ONLY NURSERY GROWN, NON PASTURE RAISED, MACHINE CUT SOD RECTANGLES OF THE TYPE INDICATED ON THE DRAWINGS. SOD SHALL BE WELL-MATTED WITH ROOTS, FREE OF EXCESSIVE WEEDS & DEBRIS, AND SHALL BE GREEN, FRESH AND UNINJURED AT THE TIME OF PLANTING.
- CONTRACTOR SHALL FIELD-ADJUST LOCATION OF PLANT MATERIAL FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INITIATING INSTALLATION.
- ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE A 3" DEEP, 24" RADIUS (FROM THE TRUNK) MULCH RING PLACED AROUND THE BASE OF THE TRUNK. ON WELL DRAINED SOIL, THE MULCH RING SHALL BE MOUNDED AT ITS EDGES TO RETAIN WATER WITHIN THE TREE RING. ON POORLY DRAINED SOIL, THE MULCH RING SHALL BE MOUNDED AT THE TRUNK TO SHED WATER AWAY FROM THE TREE.
- SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED ON THE PLANT LIST. PLANT ACCENT SHRUBS AND TREES AS SHOWN ON THE LANDSCAPE PLANTING PLANS WHEN INDIVIDUAL PLANTS ARE DELINEATED.
- PALM HEIGHTS, AS INDICATED ON THE PLANS, REFER TO CLEAR TRUNK (C.T.), GRAY WOOD (G.W.), OR OVERALL HEIGHT (O.A.) AS SPECIFIED ON THE PLANT LIST.
- CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
- CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
- CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENTS OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL.
- UPON COMPLETION OF ALL LANDSCAPING, AN INSPECTION FOR SUBSTANTIAL COMPLETION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE OF SURVIVABILITY OF ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR MUST APPROVE ALL GRADED AREAS PRIOR TO THE COMMENCEMENT OF PLANTING.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER'S REPRESENTATIVE WITH RECORD COPIES OF ALL RECEIPTS, INVOICES, AND/OR SHIPPING MANIFESTS FOR ALL MATERIALS, INCLUDING PLANTS AND SOD, DELIVERED TO THE PROJECT SITE BY THE CONTRACTOR OR A SUPPLIER TO THE CONTRACTOR, DELIVERY OF ALL FERTILIZER AND SOIL AMENDMENT MATERIALS MUST BE IN ORIGINAL, UNOPENED CONTAINER'S BEARING MANUFACTURER'S GUARANTEED CHEMICAL ANALYSIS, NAME, TRADE MARK AND CONFORMANCE WITH STATE LAW.

HARDSCAPE NOTES

- SEE CIVIL ENGINEERING DRAWINGS FOR GENERAL GRADING OF THE SITE, INCLUDING SIDEWALK AND FINISH GRADES FOR PARKING LOTS, ROADWAYS, SIDEWALKS, AND PLANTING AREAS.
- ALL PAVEMENT SHALL BE STAKED IN THE FIELD FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ALIGNMENT MAY BE ADJUSTED UPON APPROVAL TO ACCOMMODATE EXISTING SITE ELEMENTS.
- SLOPES OF WALKS TO BE NO GREATER THAN FIVE PERCENT, UNLESS EXPRESSLY NOTED OTHERWISE. CROSS-SLOPE OF WALKS NOT TO EXCEED TWO PERCENT. SEE CIVIL DRAWINGS FOR ADDITIONAL LAYOUT AND INSTALLATION DETAILS. SEE HARDSCAPE DRAWINGS FOR FINISH PATTERNS.
- ALL COLORS AND MATERIALS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. FOR THIS PURPOSE, THE CONTRACTOR SHALL CONSTRUCT OR SUBMIT AS DIRECTED BY THE OWNER'S REPRESENTATIVE PANELS DEPICTING PROPOSED FINISHES AND COLORS FOR REVIEW AND APPROVAL.
- ALL NAILS, LAG SCREWS, BOLTS AND MISCELLANEOUS FASTENERS SHALL BE HOT DIPPED GALVANIZED OR A CORROSION RESISTANT ALLOY.
- FOUNDATIONS
 - FOOTINGS HAVE BEEN DESIGNED FOR A MAXIMUM ALLOWABLE SOIL BEARING VALUE OF 2000 PSF. IN-PLACE SOILS TO BE UNIFORMLY COMPACTED AND TESTED TO ENSURE MINIMUM SOIL BEARING PRESSURE CAPACITY OF 2,000 PSF.
- PREPARATION FOR AND CONSTRUCTION OF WALL/COLUMN FOOTING(S) TO BE IN COMPLIANCE WITH THE APPLICABLE CHAPTERS AND SECTIONS OF ACI 332R.
- ANY ADDITIONAL FILL MATERIAL REQUIRED SHALL CONSIST OF SOILS THAT CONTAIN NOT MORE THAN 12% OF FINES (SILT OR CLAY PARTICLES) PASSING A NO. 200 SIEVE AND SHALL BE PLACED IN UNIFORM LAYERS NOT EXCEEDING 12.0 INCHES LOOSE. EACH LAYER SHALL BE SYSTEMATICALLY AND UNIFORMLY COMPACTED IN THE MANNER AND TO THE DEGREE SPECIFIED FOR THE IN-PLACE SOILS.
- CONCRETE
 - STRUCTURAL CONCRETE, INCLUDING FOOTINGS, SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 3000 PSI UNLESS OTHERWISE NOTED. CONCRETE FOR SLABS ON-GRADE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 2500 PSI.
 - CONCRETE, WHEN PLACED, SHALL HAVE A MAXIMUM SLUMP OF 5 INCHES AND A MINIMUM OF 3 INCHES.
- ALL REINFORCING SHALL CONFORM TO ASTM 615 FOR GRADE 60 STEEL; WELDED WIRE MESH TO ASTM A-185.
- CHECK ALL DRAWINGS AND APPLICABLE MANUFACTURER'S SHOP DRAWINGS FOR LOCATION OF ALL EMBEDDED ITEMS SUCH AS PIPE SLEEVES, ANCHOR BOLTS, ETC., PRIOR TO PLACING CONCRETE.
- #5 REINFORCEMENT FOR CONTINUOUS FOOTINGS SHALL BE CONTINUOUS AND SPLICED WITH A FULL 30-INCH LAP.
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. START INITIAL CURING AS SOON AS FREE WATER HAS DISAPPEARED FROM THE CONCRETE SURFACE AFTER PLACING AND FINISHING. KEEP CONTINUOUSLY MOIST FOR NOT LESS THAN 7 DAYS IN ACCORDANCE WITH ACI 301 PROCEDURES. PERFORM CURING OF THE CONCRETE BY CURING AND SEALING COMPOUND, BY MOIST CURING, BY MOISTURE RETAINING COVER CURING OR BY COMBINATION THEREOF.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR THE REINFORCEMENT:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH; 3 INCHES.
 - FORMED CONCRETE EXPOSED TO EARTH OR WEATHER; #5 BARS AND SMALLER, 1 1/2 INCHES; #6 BARS AND LARGER, 2 INCHES.

- MASONRY
 - CONCRETE MASONRY UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C90 FOR LOAD BEARING MASONRY WITH A MINIMUM PART OF 1500 PSI. BRICK MASONRY SHALL CONFORM TO ASTM C62 FOR STRUCTURAL AND NON-STRUCTURAL MASONRY. REFER TO DRAWINGS FOR SPECIFIC TYPE OF BRICK MASONRY LAYOUT PATTERNS.
 - MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM WITH ALL THE REQUIREMENTS OF THE "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1-95/ASCE 6-96/TMS 602-02), AS PUBLISHED BY THE MASONRY STANDARDS JOINT COMMITTEE.
 - MASONRY CONSTRUCTION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A "CERTIFIED STRUCTURAL MASONRY CONTRACTOR" OR "CERTIFIED STRUCTURAL MASON" AS RECOGNIZED BY THE FLORIDA CONCRETE AND MASONRY BOARD. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT THE WORK IS ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - MORTAR SHALL BE TYPE M OR S IN ACCORDANCE WITH ASTM C 270.
 - GROUT SHALL HAVE A MINIMUM SLUMP OF 8 INCHES AND A MAXIMUM SLUMP OF 11 INCHES, BE IN CONFORMANCE WITH ASTM C 476, AND ATTAIN A COMPRESSIVE STRENGTH OF 1800 PSI.
 - CONCRETE MASONRY UNITS SHALL BE PLUMB, TRUE TO LINE, WITH LEVEL COURSES ACCURATELY SPACED AND BUILT TO THE THICKNESS AND IN A RUNNING BOND AS INDICATED AND CONFORMING TO THE TOLERANCES SPECIFIED IN ACI 531.1 AND 530.1. CONCRETE UNITS SHALL BE STORED OFF OF THE GROUND SURFACE AND COVERED TO PROTECT THEM FROM ABSORBING RAIN OR BEING CONTAMINATED WITH THE OTHER FOREIGN MATTER. CONCRETE UNITS SHALL BE DRY WHEN LAID. EACH UNIT SHALL BE ADJUSTED TO FINAL POSITION IN THE WALL WHILE THE MORTAR IS STILL SOFT AND PLASTIC. ANY UNIT DISTURBED AFTER THE MORTAR HAS STIFFENED SHALL BE REMOVED AND RELAID WITH FRESH MORTAR. VERTICAL CELLS SHALL BE ALIGNED TO PROVIDE A CONTINUOUS, UNOBSTRUCTED OPENING. ALL ANCHORS, ACCESSORIES, FLASHING AND OTHER ITEMS TO BE BUILT-IN SHALL BE INSTALLED AS THE MASONRY WORK PROGRESSES. ALL CUTTING AND FITTING OF MASONRY, INCLUDING THAT REQUIRED TO ACCOMMODATE THE WORK OF OTHERS SHALL BE DONE BY MASONRY CRAFTSMEN WITH MASONRY SAWS. LOCATE CONTROL JOINTS AT 20 FEET ON CENTER MAXIMUM, AT ALL COLUMNS, AND AT CHANGES IN DIRECTION. CAULK THE EXPOSED SIDE OF ALL JOINTS WITH BACKER ROD AND SEALANT. COLOR OF SEALANT TO MATCH WALL COLOR.
 - HOLLOW UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS TO THE THICKNESS OF THE FACE SHELL AS A MINIMUM. THE WEBS SHALL ALSO BE BEDDED IN ALL COURSES, STARTING AT THE FOUNDATION, ADJACENT TO CELLS TO BE REINFORCED AND/OR FILLED WITH GROUT OR CONCRETE. MORTAR JOINTS SHALL BE TOOLED WHEN THE MORTAR IS "THUMBPRINT" HARD, BOTH ON THE INSIDE AND OUTSIDE SURFACES OF THE BUILDING WALL, WITH A TOOL PRODUCING A CONCAVE SURFACE. BED JOINTS SHALL BE 3/8" - 1/8" IN THICKNESS, HEAD JOINTS SHALL BE 3/8" (1/4" - 3/8").

- ALL REINFORCING TIE TO BE GRADE 60 PER ASTM A-615. REINFORCING BARS SHALL BE PLACED IN THE MIDDLE OF THE CELLS AND TIED OR OTHERWISE SECURELY SUPPORTED AT THE TOP AND BOTTOM TO ENSURE THAT THE BAR DOES NOT MOVE DURING GROUTING. MINIMUM LAP AT ALL SPLICES OR DOWELS SHALL BE 30 INCHES UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- GROUTING SHALL BE ACCOMPLISHED IN 4 FOOT LIFTS FOR CONCRETE MASONRY AND 2 FOOT LIFTS FOR BRICK MASONRY. EACH LIFT SHALL BE MECHANICALLY CONSOLIDATED INTO THE PREVIOUS LIFT, WHEN PLACED, SO AS TO PREVENT COLD JOINTS. RECONSOLIDATE AS REQUIRED. FOR CONCRETE MASONRY, A 12 SQUARE INCH CLEANOUT OPENING SHALL BE PLACED AT THE BOTTOM OF EACH CELL, TO BE FILLED AND IT SHALL BE THOROUGHLY CLEANED OUT PRIOR TO FILLING OF THE CELL. FOR BRICK MASONRY, PUDDLE GROUT DURING AND AFTER PLACEMENT TO ENSURE COMPLETE FILLING OF GROUT SPACE. GROUT PLACEMENT STOPPED FOR MORE THAN ONE HOUR SHALL BE STOPPED BELOW THE TOP OF THE MASONRY UNIT 1'-1/2" TO PROVIDE A KEY FOR SUBSEQUENT GROUTING.
- THE MINIMUM CONTINUOUS UNOBSTRUCTED CELL AREA IN CELL TO RECEIVE GROUT MUST NOT BE LESS THAN 2" X 3". MORTAR FINS MUST BE REMOVED AS BLOCK PLACEMENT PROCEEDS. MORTAR DROPPINGS MUST BE KEPT OUT OF CELLS WHICH ARE TO BE GROUTED.
- UNLESS SPECIFICALLY SHOWN OTHERWISE, PROVIDE #9 GA. "DUR-O-WALL" TRUSS TYPE REINFORCING IN EVERY OTHER COURSE OF CONTINUOUS WALLS FOR CONCRETE MASONRY, AND EVERY FOURTH COURSE FOR BRICK MASONRY. DO NOT LAY JOINT REINFORCEMENT ACROSS EXPANSION JOINTS.
- TEMPORARY BRACING AND SHORING OF ALL CONCRETE MASONRY CONSTRUCTION, TO PROVIDE STABILITY DURING CONSTRUCTION, UNTIL CONSTRUCTION ACHIEVES ITS PROPER STRENGTH, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

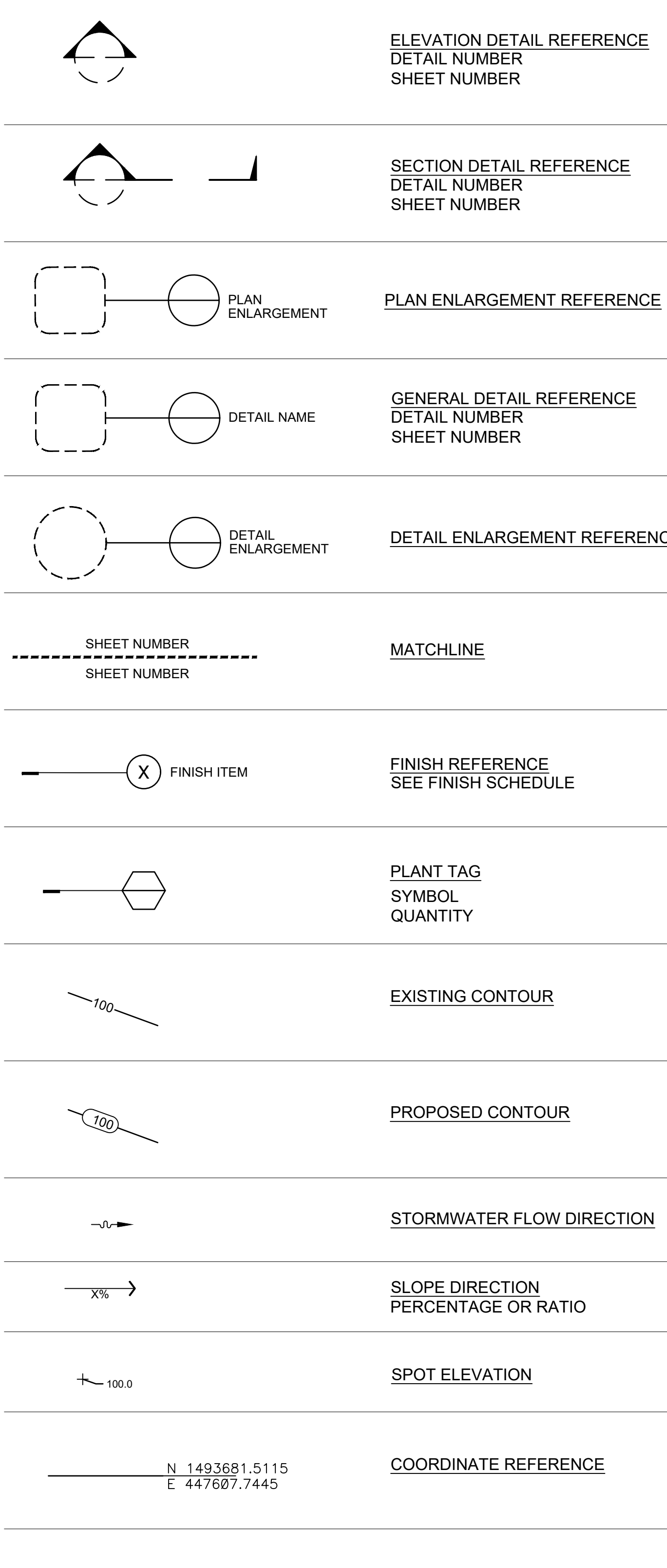
- STRUCTURAL STEEL
 - ALL STRUCTURAL STEEL SHAPES AND PLATE SHALL CONFORM TO ASTM A-36 AND THE "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION. ALL TUBE STEEL SHALL CONFORM TO ASTM A-500, GRADE B (FY = 46 KSI).
 - ALL SHOP CONNECTIONS TO BE WELDED (UTILIZING E70XX LOW HYDROGEN ELECTRODES) AND FIELD CONNECTIONS TO BE BOLTED UNLESS OTHERWISE SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS. ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF "THE STANDARD CODE FOR WELDING IN BUILDING CONSTRUCTION" OF THE AMERICAN WELDING SOCIETY.
 - ALL STEEL TO RECEIVE ONE SHOP COAT AND ONE FIELD TOUCHUP COAT OF APPROVED PAINT.
 - ALL BOLTED CONNECTIONS SHALL CONSIST OF ASTM A325 HIGH STRENGTH BOLTS AND HARDENED WASHERS AS SHOWN ON THE STRUCTURAL DRAWINGS. ALL BOLTED CONNECTIONS SHALL CONFORM TO THE "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
 - ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A36 OR A307 (THREADED ROD).
 - ERECT ALL STEEL TO CONFORM TO "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AND "QUALITY CRITERIA AND INSPECTION STANDARDS". FRAME TO BE PLUMB, SQUARE AND TRUE TO LINE AND LEVEL, CHECKED BY SURVEYING INSTRUMENTS.
 - LOCATE FINISH HOLES PRECISELY TO INSURE PASSAGE THROUGH ASSEMBLED MATERIALS WITHOUT DRIFTING. ENLARGE HOLES BY REAMING IF NECESSARY. POOR MATCHING OF HOLES IS SUFFICIENT CAUSE FOR REJECTION.
 - GROUT FOR COLUMN BASE PLATES SHALL BE NON-SHRINK GROUT BY "EMBECO" OR APPROVED EQUAL, 5000 PSI MINIMUM.
- LUMBER
 - ALL LUMBER SHALL BE SOUTHERN YELLOW PINE, GRADE NO.2 OR BETTER OR AS SPECIFIED ON THE DRAWINGS, KD19 (FB FOR LUMBER SIZES NOTED TO BE IN CONFORMANCE WITH VALUES LISTED IN THE NATIONAL FOREST PRODUCTS ASSOCIATION NATIONAL DESIGN STANDARD SUPPLEMENT), AND SHALL CONFORM TO THE NATIONAL GRADING RULE FOR DIMENSION LUMBER, THE SOUTHERN PINE INSPECTION BUREAU AND THE SOUTHERN FOREST PRODUCTS ASSOCIATION.
 - DO NOT LOCATE ANY HOLES CLOSER THAN FIVE (5) BOLT DIAMETERS FROM THE END OF ANY WOOD FRAMING MEMBER.
 - EXPOSED WOOD MEMBERS SHALL BE PRESSURE-TREATED WITH TYPE WATERBORNE PRESERVATIVE IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS STANDARD U1-03 FOR THE FOLLOWING APPLICATIONS:

APPLICATION	AWPA USE CATEGORY	TREATMENT (LBS./CU.F.T)
A. ABOVE-GROUND USE	UC3B	ACC 0.25
B. CONCRETE- OR GROUND-CONTACT, OR IN-GROUND USE	UC4A	ACC 0.40
C. FRESHWATER USE	UC4A	ACC 0.40
D. IN-GROUND OR FRESHWATER PILES	UC4C	CCA 0.80 (NOTE 1)
E. SALTWATER USE, MARINE PILES	UC5C	CCA 2.50 (NOTE 2)

 NOTE 1: CREOSOTE (12 LBS./CU.F.T.) MAY BE USED IF APPROVED BY OWNER'S REPRESENTATIVE
 NOTE 2: CREOSOTE (25 LBS./CU.F.T.) MAY BE USED IF APPROVED BY OWNER'S REPRESENTATIVE
- FASTENERS:
 - ABOVE-GROUND METAL CONNECTORS IN CONTACT WITH A.C.C.:
 - G185 HOT DIPPED GALVANIZED MEETING ASTM A653
 - ASTM A123
 - STAINLESS STEEL TYPE 304 OR 316
 - ABOVE-GROUND SCREWS, NUTS, BOLTS & WASHERS IN CONTACT WITH A.C.C.:
 - CLASS 55 MECHANICALLY DEPOSITED ZINC MEETING ASTM B665
 - POST HOT DIPPED GALVANIZED MEETING ASTM A153
 - STAINLESS STEEL TYPE 304 OR 316
 - ABOVE-GROUND COMMON NAILS & GUN NAILS IN CONTACT WITH A.C.C.:
 - G185 HOT DIPPED GALVANIZED MEETING ASTM A153
 - STAINLESS STEEL TYPE 304 OR 316
 - ALL FASTENERS FOR IN-GROUND, UNDERWATER OR MARINE APPLICATIONS
 - STAINLESS STEEL TYPE 304 OR 316

- ALUMINUM
 - ALUMINUM TUBING, PLATES, BARS, AND ANGLES SHALL BE 6061-T6 UNLESS NOTED OTHERWISE.
 - ALL WELDING TO BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY'S STANDARD AWS D1.2, STRUCTURAL WELDING CODE - ALUMINUM.
 - ISOLATE ALL ALUMINUM FROM STEEL AND CONCRETE BY THE USE OF NEOPRENE WASHERS, BUSHINGS, AND SHEET AS REQUIRED IN ORDER TO PREVENT GALVANIC ACTION OR CORROSION.
 - ALL FASTENERS, BOLTS, NUTS, ETC. IN CONTACT WITH ALUMINUM SHALL BE STAINLESS STEEL.
- POOL/SPA/FOUNTAIN
 - THE POOL/SPA/FOUNTAIN CONTRACTOR WILL STAKE OUT THE POOL/SPA/FOUNTAIN AND SET THE FINISHED GRADE. THE OWNER'S REPRESENTATIVE WILL BE NOTIFIED FOR APPROVAL OF THIS WORK PRIOR TO INSTALLATION.
 - POOL/SPA/FOUNTAIN CONTRACTOR IS RESPONSIBLE FOR ALL POOL/SPA/FOUNTAIN EQUIPMENT, PIPING, POOL/SPA SHELL, FOUNTAIN WALLS, TILE, COPING, ELECTRICAL TO JUNCTION BOXES, PERMITS, AND CODE COMPLIANCE. SUBMIT SHOP DRAWINGS AND FINISH SAMPLES FOR REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - REQUIRED UTILITIES AT THE FILTER/PUMP LOCATION TO BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
 - FINISH PATTERN ON THE POOL DECK TO BE LAID OUT EXACTLY AS SHOWN. EXPANSION JOINTS, DECK DRAINS, ETC. TO COINCIDE WITH THE GRID. EXPANSION JOINT FILLER AND ANY DECK DRAIN MATERIALS ARE TO MATCH THE COLOR OF THE DECK.
- PRECAST/EIFS
 - PRECAST/EIFS MANUFACTURER IS RESPONSIBLE FOR DESIGN OF INDIVIDUAL COMPONENTS, INCLUDING VERIFICATION OF FIELD CONDITIONS AND DESIGN OF CONNECTIONS.
 - DESIGN, FABRICATION, AND INSTALLATION OF PRECAST/EIFS COMPONENTS SHALL COMPLY WITH APPLICABLE ACI, PCI, & ASTM STANDARDS.
 - MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND FINISH SAMPLES FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO FABRICATION AND INSTALLATION.
 - ALL CAST STONE PRODUCTS SHALL CONFORM WITH ALL REQUIREMENTS OF ASTM C1364.
- FURNISHINGS
 - THE CONTRACTOR TO PROVIDE THE FOLLOWING SUBMITTALS,
 - ALL MANUFACTURER'S DATA INCLUDING DIRECTIONS OR RECOMMENDATIONS FOR INSTALLATION, METHODS, PROCEDURES AND MAINTENANCE.
 - COMPLETE SHOP DRAWINGS FOR ALL SITE FURNISHINGS INDICATING ALL DETAILS OF FABRICATION AND INSTALLATION INCLUDING SIZES, SHAPES, FINISHES, COLORS, THICKNESS, MATERIAL QUALITY AND ALL OTHER RELATED WORK APPLICABLE TO THE SITE FURNISHINGS.
 - SUBMIT COLOR SAMPLES FOR APPROVAL BY THE OWNER.
 - DELIVER ALL MATERIALS WITH MANUFACTURER'S TAGS AND LABELS INTACT IN CLEAN, DRY AND PROTECTED LOCATIONS.
 - STORE AND HANDLE ALL SITE FURNISHINGS SO AS TO AVOID DAMAGE. ALL SITE FURNISHINGS SHALL BE GUARANTEED BY THE CONTRACTOR FREE OF DEFECTS, CRACKS, CHIPS, STAINS AND SHALL BE COMPLETELY CLEAN AND FREE OF DAMAGES UPON FINAL PLACEMENT AND APPROVAL.
 - ALL SITE FURNISHINGS SHALL BE PROVIDED BY THE CONTRACTOR INCLUDING ORDERING, SHIPPING, DELIVERY, UNPACKING, AND INSTALLING ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND AS DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY INSTALLATION PROCEDURE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLING.
 - ALL SITE FURNISHINGS LOCATIONS ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO BEING PLACED ON SITE. FAILURE TO SECURE OWNER'S APPROVAL MAY REQUIRE THE CONTRACTOR TO MOVE AND/OR REINSTALL THE FURNISHINGS AT THE CONTRACTORS EXPENSE.

STANDARD DRAWING SYMBOLS



ELEVATION DETAIL REFERENCE
DETAIL NUMBER
SHEET NUMBER

SECTION DETAIL REFERENCE
DETAIL NUMBER
SHEET NUMBER

PLAN ENLARGEMENT REFERENCE

GENERAL DETAIL REFERENCE
DETAIL NUMBER
SHEET NUMBER

DETAIL ENLARGEMENT REFERENCE

MATCHLINE

FINISH REFERENCE
SEE FINISH SCHEDULE

PLANT TAG
SYMBOL
QUANTITY

EXISTING CONTOUR

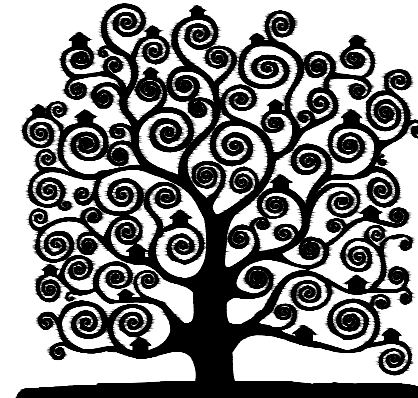
PROPOSED CONTOUR

STORMWATER FLOW DIRECTION

SLOPE DIRECTION
PERCENTAGE OR RATIO

SPOT ELEVATION

COORDINATE REFERENCE



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CREATE CONSERVATORY

Via
JAMESCO BUILDERS
3425 Lake Center Dr. Unit 3
Mt. Dora FL, 32757

Project

CREATE CONSERVATORY
4900 Lake Park Ct
Mt. Dora, FL 32757

Sign & Seal

Consultant

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Scale

Sheet Title
INDEX NOTES

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Sheet #
LS-00

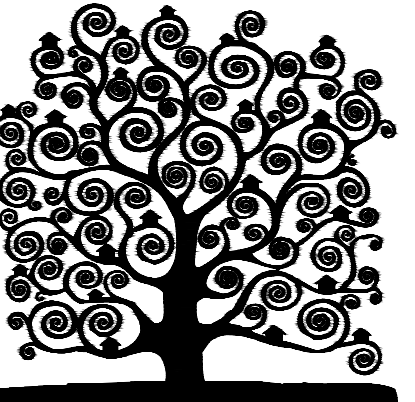
Sheet Series
1 of 3

CONTRACTOR NOTES

NOT ALL ITEMS SHOWN ON THIS SHEET APPEAR IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS RELATED TO CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, BUILDING, LANDSCAPE, IRRIGATION & RIGHT OF WAY UTILIZATION PERMITS.

CODE COMPLIANCE NOTES

- IT IS THE INTENT OF THIS DESIGN TO COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES. ALL EDITIONS OF THE FLORIDA BUILD



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Client: **CREATE CONSERVATORY**

Via **JAMESCO BUILDERS**
3425 Lake Center Dr. Unit 3
Mt. Dora FL, 32757

Project: **CREATE CONSERVATORY**
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Issue:
1-28-2025 PERMIT (layer 2)
7-7-2025 PERMIT (layer 2)
7-15-2025 PERMIT (layer 3)

Sheet title: **LANDSCAPE PLAN**

Scale: **1"=20'**

Project Number: **2024-JB_CC**

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Drawn by: **TFW**

Checked by: **TFW**

Issued for:

Issue date: **1/6/2025**

Sheet #

LS-01

Sheet Series **2** OF **3**



IRRIGATION NOTES:

1. WATER SOURCE AND SYSTEM ARE EXISTING. CONTRACTOR SHALL VERIFY LOCATIONS AND OPERATION OF EXISTING SYSTEM PRIOR TO STARTING WORK.
2. ALL EXISTING AND NEW LANDSCAPE AREAS SHALL BE PROVIDED WITH 100% COVERAGE BY AN UNDERGROUND IRRIGATION SYSTEM.
3. EACH NEW TREE SHALL HAVE AT LEAST ONE BUBBLER
4. A RAIN SENSOR DEVICE IS REQUIRED.
5. IF IRRIGATED, ALL TURFGRASS SHALL BE ON SEPARATE ZONES THAN SHRUB AND GROUNDCOVER AREAS.
6. ALL WORK SHALL ADHERE TO THE CITY OF MT. DORA IRRIGATION REQUIREMENTS AS CONTAINED IN THE LAND DEVELOPMENT CODE.

TREE REMOVAL SUMMARY:

PHASE 1: 8" MAGNOLIA
PHASE 2: 8" MAGNOLIA
TOTAL: 16"

REPLACED WITH 2) 3.5" CALIPER LIVE OAKS

ALL OTHER REMOVED TREES ARE QUEEN & WASHINGTONIA PALMS (CLASS 2 INVASIVE)

PLANTING NOTES:

1. ALL PLANT MATERIAL SIZES ARE MINIMUM SIZES. CONTAINER SIZES SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZED SPECIFIED.
2. FINAL ARRANGEMENT OF PLANT MATERIAL SHALL BE STAKED BY THE CONTRACTOR FOR THE APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLMENT.
3. THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
4. ALL MULCH SHALL PINE BARK NUGGETS 2-3 INCHES THICK WHEN COMPACTED.
5. CONTRACTOR RESPONSIBLE TO REMOVING ALL INVASIVE OR PROHIBITED PLANT SPECIES ONSITE.
6. ALL LANDSCAPING SHALL CONFORM TO SEMINOLE COUNTY LANDSCAPE, BUFFER, AND TREE REQUIREMENTS.

TREE NOTES:

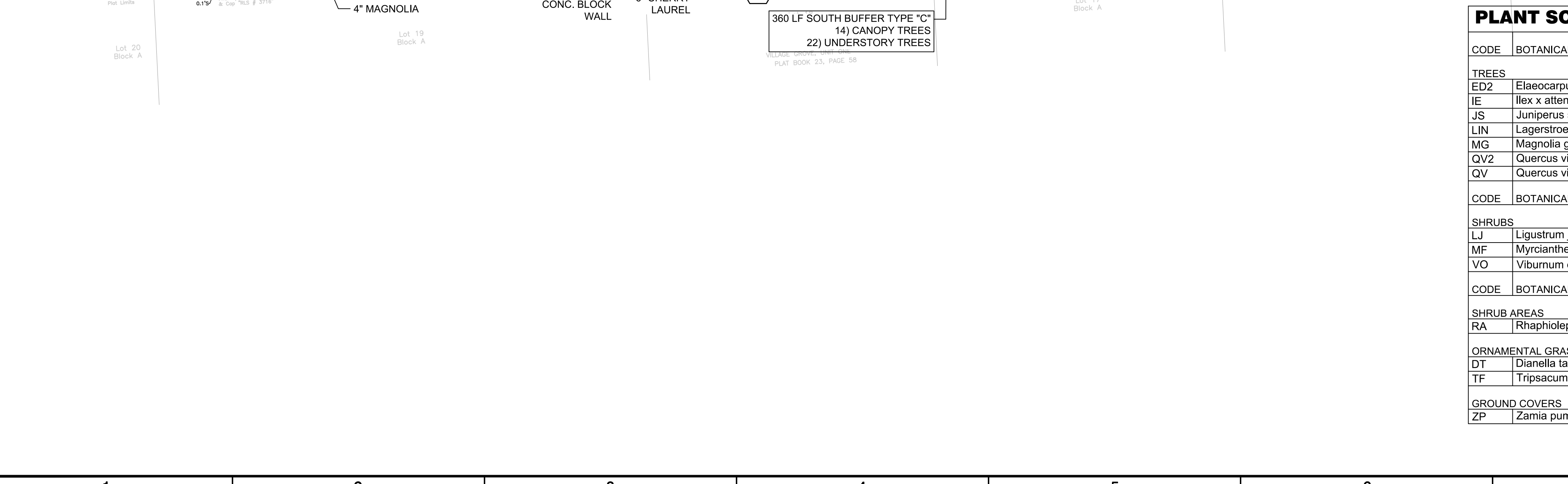
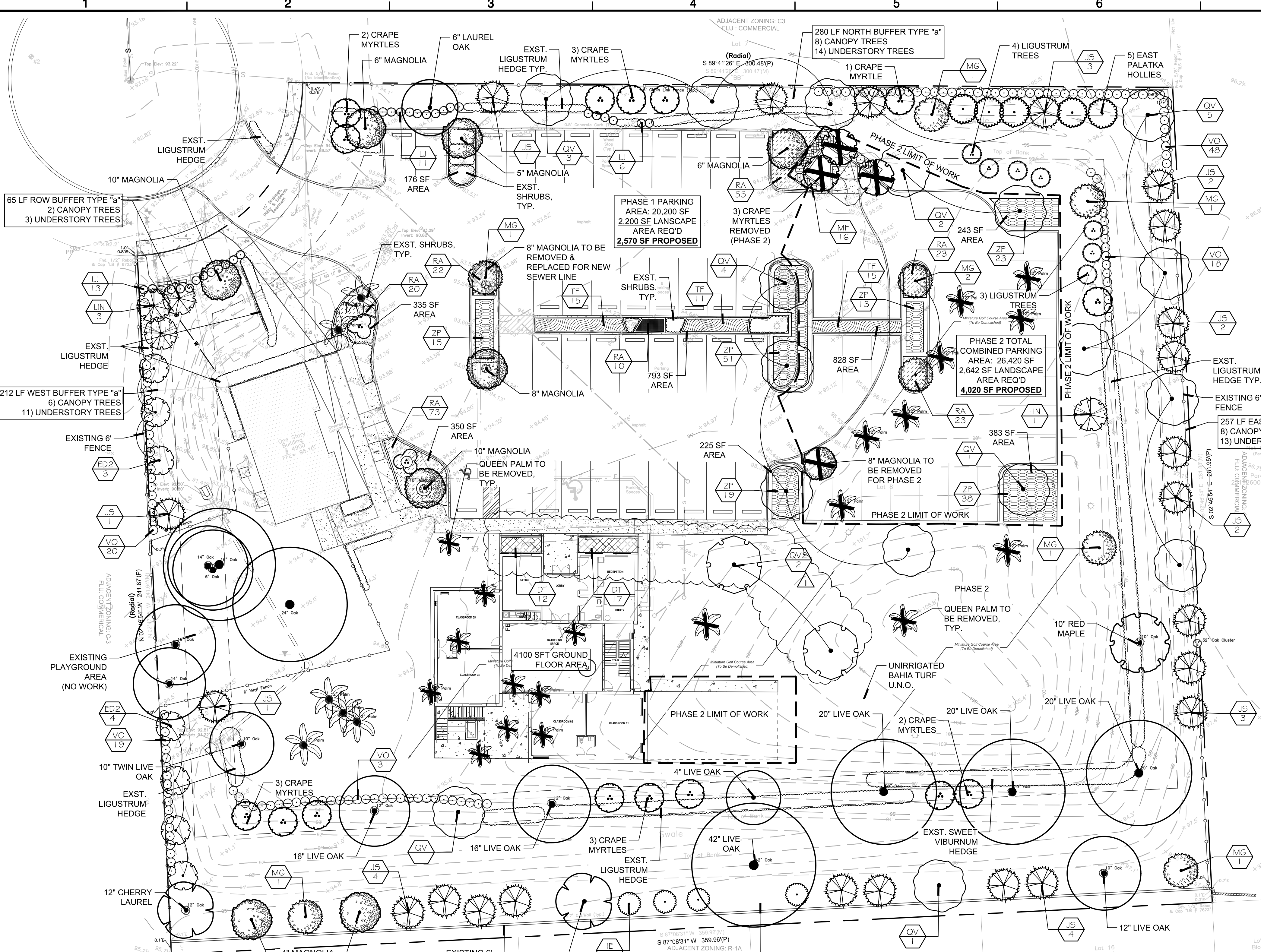
1. ALL REQUIRED CANOPY TREES SHALL BE A MINIMUM HEIGHT OF 8 FEET & 2 INCH CALIPER AT PLANTING. UNDERSTORY TREES SHALL BE 6 FEET AND 1-1/2" CALIPER AT PLANTING.
2. ALL TREES SHALL BE INSTALLED PER CITY OF MT. DORA CODE.
3. ALL TREES WITH INVASIVE ROOT SYSTEMS SHALL BE SET A MINIMUM OF 5 FEET AWAY FROM UTILITIES AND HAVE ROOT BARRIERS INSTALLED TO DEFLECT ROOTS AWAY FROM ADJACENT HARDSCAPE SURFACES.

SIGHT DISTANCE NOTE:

1. ALL LANDSCAPING WITHIN SIGHT TRIANGLES SHALL CONFORM TO FOOT STANDARDS.
2. SHRUBS AND GROUNDCOVERS WITHIN SIGHT TRIANGLES SHALL NOT EXCEED 36" IN HEIGHT ABOVE PAVEMENT.
3. TREES IN SIGHT TRIANGLE SHALL HAVE A MINIMUM OF 6 FEET OF CLEAR TRUNK AT INSTALLATION, AND SHALL BE MAINTAINED AT 8 FEET AFTER ESTABLISHMENT.

PLANT SCHEDULE THIS IS A "FLORIDA FRIENDLY PLAN" ALL PLANTS ARE "LOW" WATER USE

CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
ED2	Elaeocarpus decipiens TM / Japanese Blueberry Tree	15 gal	1.5"-2" STD	6'-8" H x 2'-3" W	7
IE	Ilex x attenuata 'Eagleston' / Eagleston Holly	30 gal	1.5"-2" STD	7'-8" H x 3'-4" W	4
JS	Juniperus silicicola / Southern Red Cedar	15 gal	1.5"-2.0"	6'-8" x 4'-5"	23
LIN	Lagerstroemia indica x faurei 'Natchez' / Natchez Crape Myrtle	15 gal	1.5"-2" STD	6'-8" H x 3'-4" W	4
MG	Magnolia grandiflora / Southern Magnolia 'DD Blanchard'	30 gal	2" CAL. FTG	8'-10" H x 3'-4" W	8
QV2	Quercus virginiana / Southern Live Oak	100 gal	3.5" Cal	16'-18" H	2
QV	Quercus virginiana / Southern Live Oak	30 gal	2" Cal	8'-10" H x 3'-4" W	17
CODE	BOTANICAL / COMMON NAME	CONT	SIZE		QTY
SHRUBS					
LJ	Ligustrum japonicum / Japanese Privet	7 gal	24"-30" X 24"-30"		30
MF	Myrcianthes fragrans / Simpson's Stopper	7 gal	36"-48" H x 24" W		16
VO	Viburnum odoratissimum / Sweet Viburnum	3 gal	24"-30" X 24"-30"		136
CODE	BOTANICAL / COMMON NAME	CONT	SIZE		SPACING QTY
SHRUB AREAS					
RA	Rhaphiolepis indica 'Alba' / White Indian Hawthorn	3 gal	12"-15" x 12"-15"		24" o.c. 226
ORNAMENTAL GRASSES					
DT	Dianella tasmanica / Flax Lily	1 gal	12"-15" x 12"-15"		30" o.c. 29
TF	Tripsacum floridanum / Florida Gamagrass	3 gal	24"-30" x 18"-24"		36" o.c. 41
GROUND COVERS					
ZP	Zamia pumila / Coontie	3 gal	18"-24" spd.		36" o.c. 159



LANDSCAPE SPECIFICATIONS:

PART 1 - GENERAL

- 1.01 WORK INCLUDED
 A. INSTALLATION OF TREES, PALMS, SHRUBS, GROUNDCOVERS, AND GRASS SOD.
 B. APPLICATION AND PAYMENT FOR REQUIRED REVIEWS.
- 1.02 REFERENCES
 A. "GRADES AND STANDARDS FOR NURSERY PLANTS," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
 B. "AMERICAN STANDARD FOR NURSERY STOCK," ANSI Z60.1-2004, AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- 1.03 SUBMITTALS
 A. RECORD DRAWINGS: FURNISH ONE SET OF REPRODUCIBLE RECORD DRAWINGS, CLEARLY SHOWING THE SPECIFICATIONS AND FOR HANDLING DAMAGE. REMOVE FROM THE SITE ALL NON-CONFORMING AND DAMAGED PLANT MATERIALS.
 B. SOIL ANALYSIS: SUBMIT SOIL TEST RESULTS FROM AN INDEPENDENT SOIL TESTING LABORATORY PRIOR TO PLANTING.
- 1.04 DELIVERY, STORAGE, AND HANDLING
 A. INSPECTION: UPON DELIVERY TO THE SITE, INSPECT ALL PLANT MATERIALS FOR CONFORMITY TO THE SPECIFICATIONS AND FOR HANDLING DAMAGE. REMOVE FROM THE SITE ALL NON-CONFORMING AND DAMAGED PLANT MATERIALS.
 B. ON-SITE STORAGE: PROTECT ALL STORED PLANT MATERIALS FROM SUN AND WIND. WATER ALL STORED PLANT MATERIAL DAILY. OWNER TO INDICATE APPROPRIATE LOCATION FOR MATERIAL(S) AND EQUIPMENT STORAGE.
- 1.05 GUARANTEE
 A. GUARANTEE ALL PLANTING WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF FINAL APPROVAL AND ACCEPTANCE.
 B. REPLACE AT NO COST TO THE OWNER ALL PLANT MATERIALS WHICH DIE OR ARE DETERMINED BY THE LANDSCAPE ARCHITECT, OR OWNERS REPRESENTATIVE TO BE UNACCEPTABLE, UNLESS THE DEATH OR UNACCEPTABLE CONDITION IS CLEARLY BEYOND THE CONTROL OF THE CONTRACTOR, AS DETERMINED BY THE OWNER. SUCH CIRCUMSTANCES MAY INCLUDE ACTS OF MOTHER NATURE, THEFT AFTER FINAL INSPECTION, OR VANDALISM. UNACCEPTABLE PLANTS SHALL INCLUDE THOSE THAT SHOW SIGNIFICANT DIE-BACK OR FAILURE TO EXHIBIT THE HEALTHY CHARACTERISTICS INDICATIVE OF THE SPECIES.
- 1.06 MAINTENANCE
 A. MAINTAIN ALL LANDSCAPING UNTIL ONE YEAR AFTER FINAL APPROVAL AND ACCEPTANCE.
 B. MAINTENANCE TO INCLUDE:
 1. CULTIVATING AND WEEDING PLANT BEDS AND TREE PITS.
 2. APPLICATION OF HERBICIDES AND PESTICIDES
 3. IRRIGATION SUFFICIENT TO SATURATE ROOT SYSTEMS APPLIED DAILY.
 4. TRIMMING AND PRUNING, INCLUDING REMOVAL OF CLIPPINGS AND DEAD OR BROKEN BRANCHES, AND TREATMENT OF PRUNED AREAS OR OTHER WOUNDS.
 5. DISEASE CONTROL.
 6. MAINTAINING GUYS AND STAKES IN A TIGHT CONDITION.
 7. MAINTAINING TREES IN A PLUMB CONDITION.
 8. WEEKLY MOWING AFTER SOD IS SUFFICIENTLY ROOTED.

PART 2 - PRODUCTS

- 2.01 PLANT MATERIALS
 A. TREES AND SHRUBS. ALL PLANT MATERIALS SHALL BE FLORIDA #1 AS OUTLINED IN "GRADES AND STANDARDS FOR NURSERY PLANTS."
 B. SOD: PROVIDE ONLY NURSERY GROWN, MACHINE CUT SOD OF THE TYPE INDICATED ON THE DRAWINGS. SOD SHALL BE WELL-MATTED WITH ROOTS, FREE OF EXCESSIVE WEEDS, AND SHALL BE GREEN, FRESH AND UNINJURED AT THE TIME OF PLANTING.
- 2.02 SOIL MATERIALS
 A. TOPSOIL: FERTILE, AGRICULTURAL TOPSOIL, TYPICAL FOR PROJECT LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, TAKEN FROM DRAINED SITE, FREE OF SUBSOIL, CLAY, PLANTS, WEEDS AND ROOTS, pH RANGE OF 5.5 TO 7.0, MINIMUM 4 PERCENT, MAXIMUM 20 PERCENT ORGANIC MATTER.
 B. PEAT MOSS: SHREDDED, LOOSE, SPHAGNUM MOSS, FREE OF LUMPS, ROOTS, INORGANIC MATERIAL, MINIMUM 95 PERCENT ORGANIC MATERIAL MEASURED BY OVEN DRY WEIGHT, 4 TO 5 pH RANGE, MOISTURE CONTENT OF 30 PERCENT.
 C. SAND: COARSE, WASHED, BUILDERS SAND
 D. PLANTING SOIL MIXTURE: PROVIDE MIXTURE OF IMPORTED TOPSOIL OR APPROVED TOPSOIL FROM SITE, PEAT, SAND, AND OTHER AMENDMENTS AS RECOMMENDED BY THE INDEPENDENT SOIL TESTING LABORATORY FOR THE SPECIFIED PLANTS.
- 2.03 OTHER MATERIALS
 A. MULCH: PINE BARK MINI NUGGETS OR PINE STRAW 3" THICK COMPACTED UNDER ALL TREES, PALMS, SHRUBS, & GROUNDCOVER.
 B. FERTILIZER:
 1. FLOWERING ANNUALS AND BEDDING PLANTS: SIERRABLEN 18-7-10 (+IRON), RATE OF APPLICATION 2LBS PER 100 SQ.FT.
 2. CONTAINER GROWN TREES, SHRUBS, AND GROUNDCOVER: AGRIFORM 21 GRAM TABLETS, RATE OF APPLICATION AS FOLLOWS:
 (1-2 GALLON PLANTS: 1 TABLET) (30 GALLON PLANTS: 6 TABLETS)
 (3-5 GALLON PLANTS: 2 TABLETS) (65 GALLON PLANTS: 8 TABLETS)
 (7-10 GALLON PLANTS: 3 TABLETS) (100 GALLON PLANTS: 10 TABLETS)
 (15 GALLON PLANTS: 4 TABLETS) (200 GALLON PLANTS: 15 TABLETS)
 3. FIELD GROWN AND COLLECTED TREES: AGRIFORM 21 GRAM TABLETS, ONE TABLET PER 1/2" OF CALIPER FOR STANDARD TREES; ONE TABLET PER FOOT SPREAD FOR MULTI-TRUNK TREES.
 4. NEWLY PLANTED SOD: 6-6-6 APPLIED PER MANUFACTURER'S INSTRUCTIONS.
- 2.04 TESTS
 A. PROVIDE ANALYSIS OF IMPORTED TOPSOIL INDICATING pH VALUE AND PERCENTAGE OF NITROGEN, PHOSPHORUS, POTASH, SOLUBLE SALT, AND ORGANIC MATTER.
 B. PROVIDE ANALYSIS OF EXISTING SOIL IN REPRESENTATIVE PLANTING AREAS, INDICATING REPRESENTATIVE PLANTING AREAS, INCLUDING LABORATORY RECOMMENDATIONS FOR SOIL AMENDMENTS NECESSARY FOR OPTIMAL PLANT GROWTH.

PART 3 - EXECUTION

- 3.01 PREPARATION
 A. FINE GRADING: FINE GRADE PLANTING AREA, AS INDICATED ON THE DRAWINGS, ELIMINATING LOW OR ROUGH AREAS, AND BUILDING DEBRIS, STONES AND RUBBLE. FINISH GRADES SHALL BE SLOPED IN THE SAME DIRECTION AS EXISTING DRAINAGE; NEW GRADES SHALL NOT REVIEW PONDING OR STANDING WATER.
 B. ALERT THE OWNER OF POTENTIAL GRADING AND DRAINAGE PROBLEMS, INCLUDING DEPRESSED PLANTING AREAS WITH NO OUTFALL, SATURATED PLANTING AREAS, PLANTING PITS THAT HOLD WATER FOR PROLONGED PERIODS, AND ANY OTHER CONDITION DETRIMENTAL TO OPTIMUM PLANT GROWTH.
- 3.02 PLANTING
 A. TAKE LOCATIONS OF ALL TREES AND SHRUBS. ALIGN WITH ARCHITECTURAL OR ENGINEERING REFERENCES FEATHERS AS INDICATED ON THE DRAWINGS. INFORM LANDSCAPE ARCHITECT OF UNFORESEEN OBSTACLES WHICH MAY AFFECT THE LOCATIONS AS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR APPROVAL OF ALL STAKED PLANTINGS PRIOR TO INSTALLATION.
 B. PLANT TREES AND SHRUBS, ROTATING AS NECESSARY FOR BEST APPEARANCE FROM THE PREDOMINANT VIEWPOINT.
 C. LAY OUT SHRUB BEDS, SCALING THE LOCATIONS AND DIMENSIONS OF EACH BED, FOLLOWING THE CONFIGURATIONS INDICATED ON THE DRAWINGS. ADJUST THE BED DIMENSIONS TO THE QUANTITY AND SPACING OF PLANTS SHOWN ON THE PLANT LIST OR SCALED FROM THE DRAWINGS. INFORM THE LANDSCAPE ARCHITECT OF SIGNIFICANT DISCREPANCIES BETWEEN PLANT BED DIMENSIONS AND PLANT QUANTITIES.
 D. PLANT SHRUBS AND ANNUALS, MAINTAINING UNIFORM SPACING AS INDICATED ON THE PLANT LIST OR SCALED FROM THE DRAWINGS.
 E. DISTRIBUTE OR DISPOSE OF EXCAVATED SOIL FROM PLANTING HOLES, MAINTAINING THE DESIRED FINISH GRADES.
 F. LAY SOD ON FINE-GRADED, MOISTENED SOIL, WITHOUT GAPS OR OVERLAPS. TAMP OR ROLL TO PROVIDE FIRM CONTACT WITH SOIL. SOD LINE AT PLANT BEDS SHALL BE CUT TO THE CONFIGURATION AND DIMENSIONS SHOWN ON THE DRAWINGS. A MINIMUM DIMENSION SHALL BE MAINTAINED BETWEEN PLANTS AND SOD EQUAL TO ONE-HALF THE PLANT SPACING, MEASURED FROM THE CENTER OF THE PLANT TO THE EDGE OF THE SOD. A CIRCULAR RING OF 12 INCH RADIUS SHALL BE MAINTAINED FREE OF GRASS AROUND TREES WITHIN SODDED AREAS.
 G. APPLY FERTILIZER TABLETS, EQUALLY DISTRIBUTED AROUND ROOTBALL AT A DEPTH EQUAL TO ONE-HALF THE ROOTBALL DEPTH. APPLY GRANULAR FERTILIZERS TO SOD AND BEDDING PLANTS. SWEEP FERTILIZERS FROM WALKWAYS TO AVOID STAINING.
 H. SATURATE SOIL THOROUGHLY DURING AND AFTER BACKFILLING OF PLANTS, AND AFTER LAYING OF SOD.
 I. APPLY A LAYER OF MULCH, MINIMUM 3 INCHES AFTER SETTLEMENT, TO ALL PLANT BEDS AND TREE RINGS.
 J. STAKE AND GUY ALL TREES SECURELY. ATTACH WHITE SURVEYOR'S RIBBON TO ALL GUY WIRES ADJACENT TO PEDESTRIAN AREAS.



THEODORE WEPPELEMMANN ARCHITECTS

ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 PLANNING

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 Windermere, Florida 34786
 ph: 321.663.9828
 e-mail: tweppelemann@tdarr.com

THEODORE WEPPELEMMANN ARCHITECTS, HEREBY RESERVES ITS LAW COPYRIGHTS AND OTHERS PROPERTY RIGHTS IN THESE PLANS, IDEAS, AND DESIGN. THESE PLANS, IDEAS, AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER, WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION, CONSENT, AND APPROPRIATE COMPENSATION TO THEODORE WEPPELEMMANN ARCHITECTS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS OF THE JOB. THEODORE WEPPELEMMANN ARCHITECTS IS TO BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS (C) 2024.

Client: **CREATE CONSERVATORY**
 Via: **JAMESCO BUILDERS**
 3425 Lake Center Dr. Unit 3
 Mt. Dora, FL 32757

CREATE CONSERVATORY

Sign & Seal

THEODORE F. WEPPELEMMANN
 FL ARCHITECTURE LICENSE # AR 97170
 FL LANDSCAPE LICENSE # LA 6667307

Consultant

Issue:
 1-10-2025 PERMIT
 1-7-2025 PERMIT (page 2)

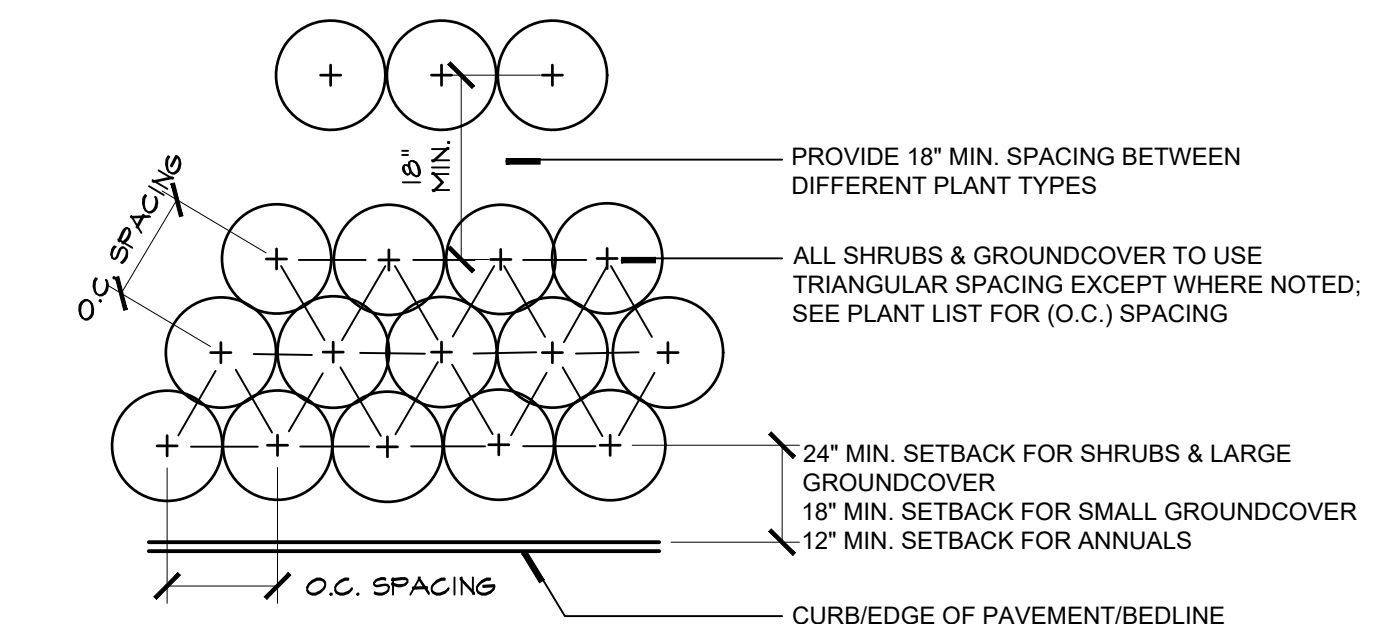
Sheet title:
LANDSCAPE DETAILS & SPECIFICATIONS

Scale:
 AS SHOWN

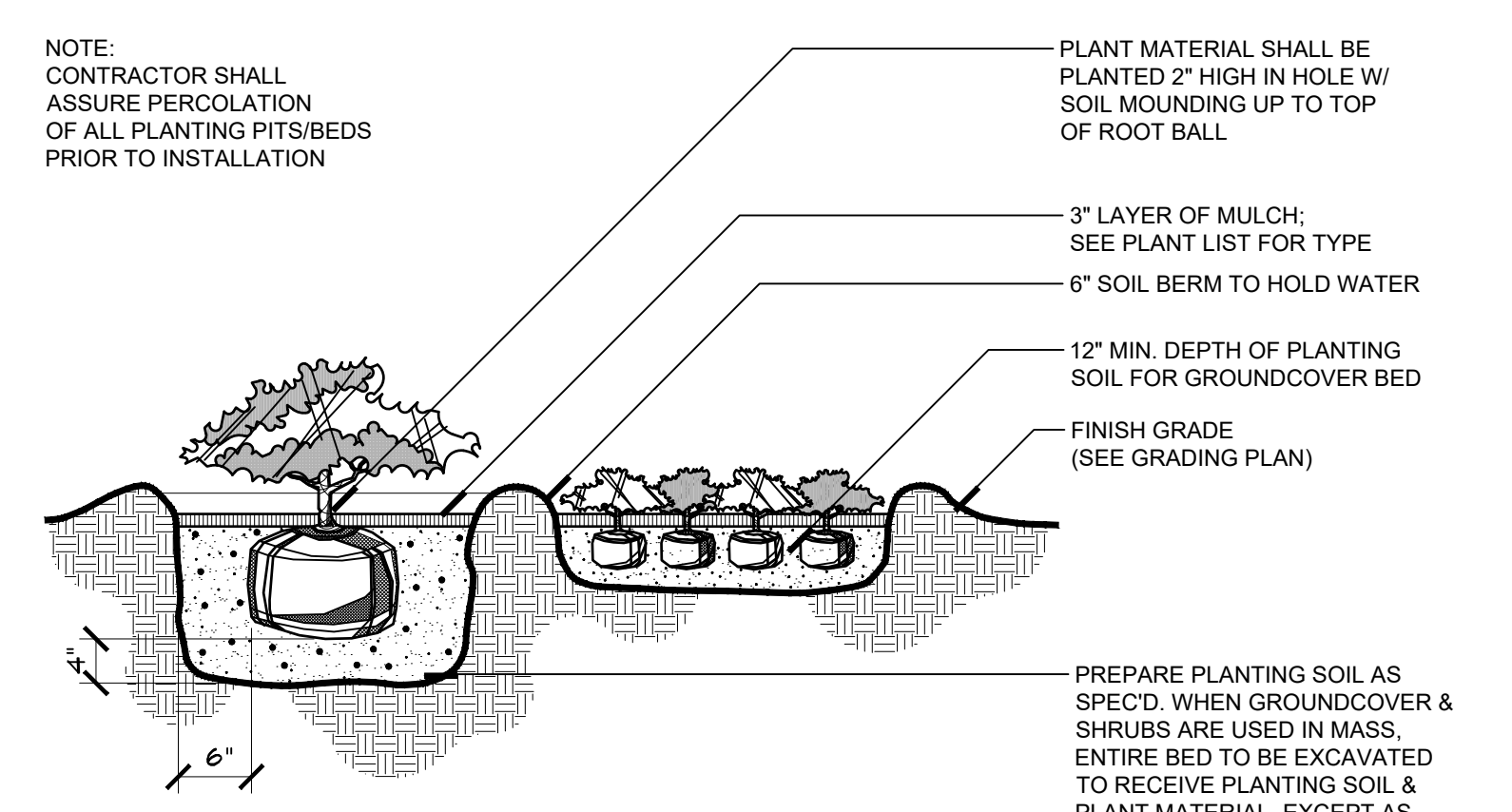
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 Design by: TFW
 Drawn by: TFW
 Checked by: TFW
 Issued for: TFW

Issue date: 1/6/2025
 Sheet #

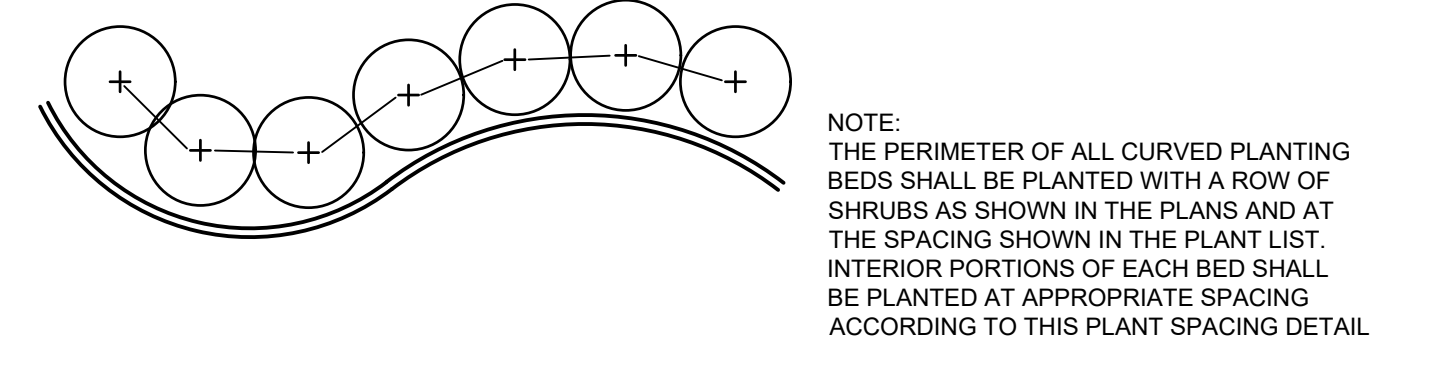
LS-02
 Sheet Series: 3 OF 3



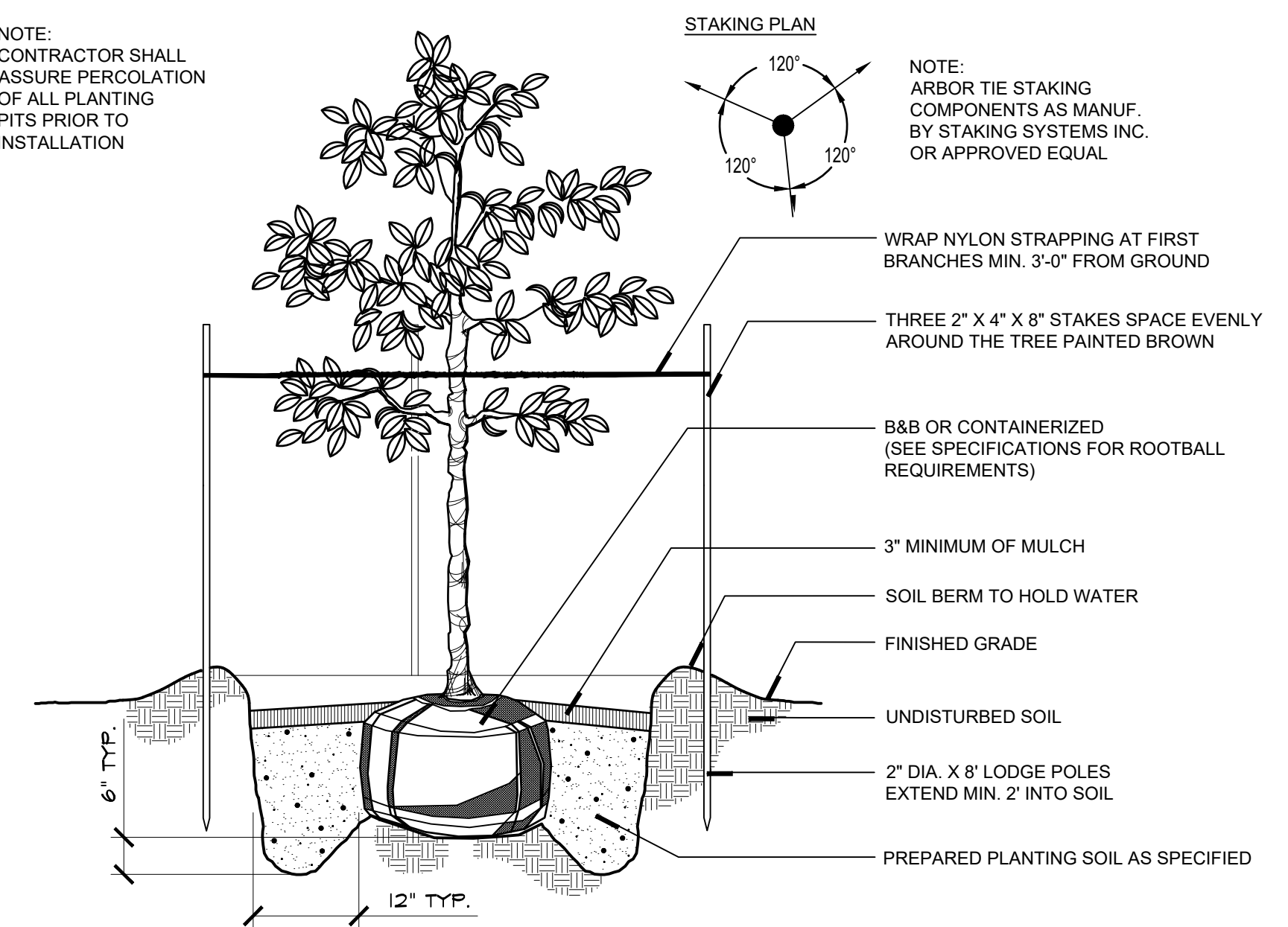
1 SHRUB & GROUNDCOVER SPACING
 1/2" = 1'-0" P-LA-01



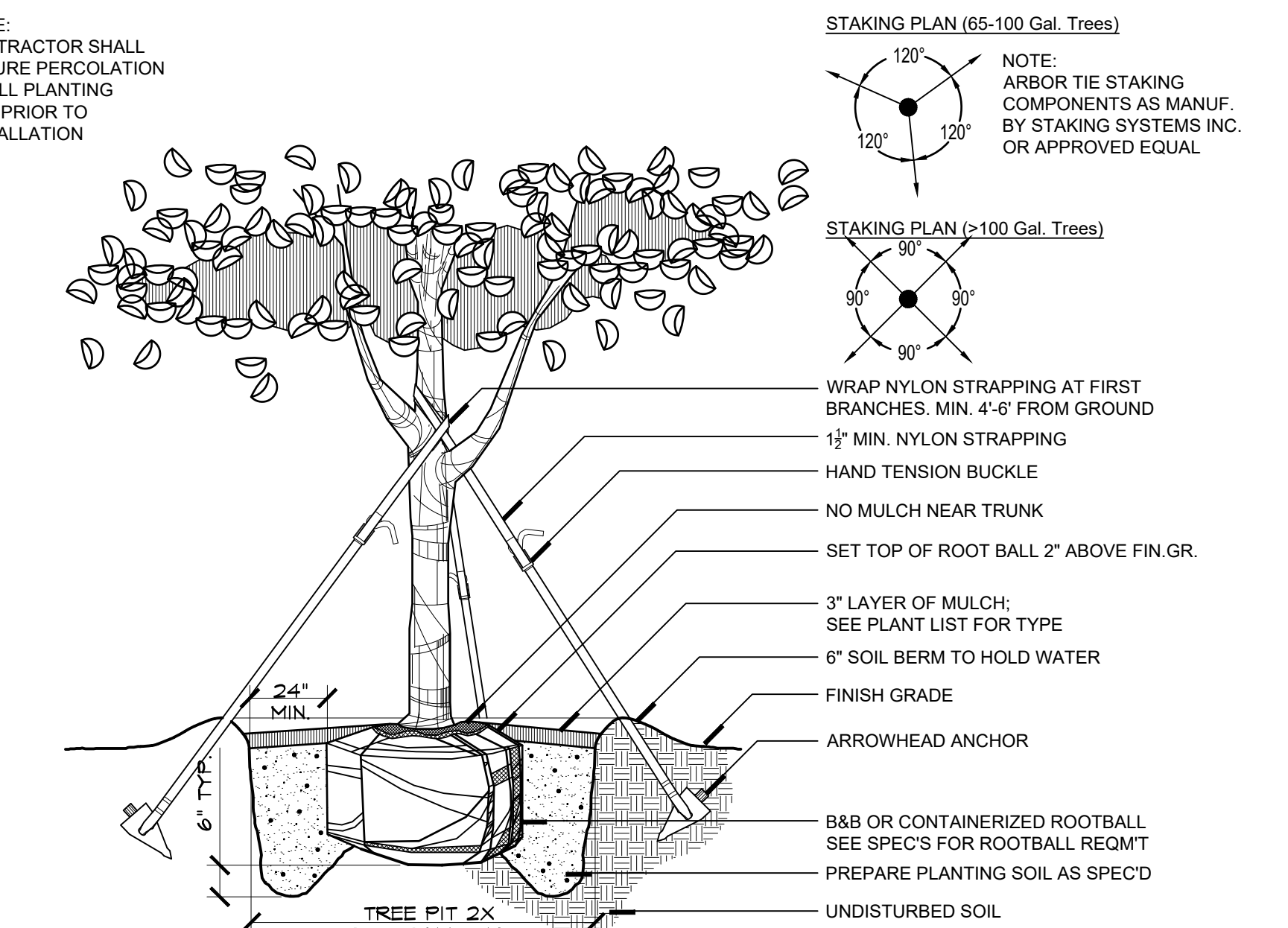
2 SHRUB & GROUNDCOVER PLANTING
 1/2" = 1'-0" P-LA-02



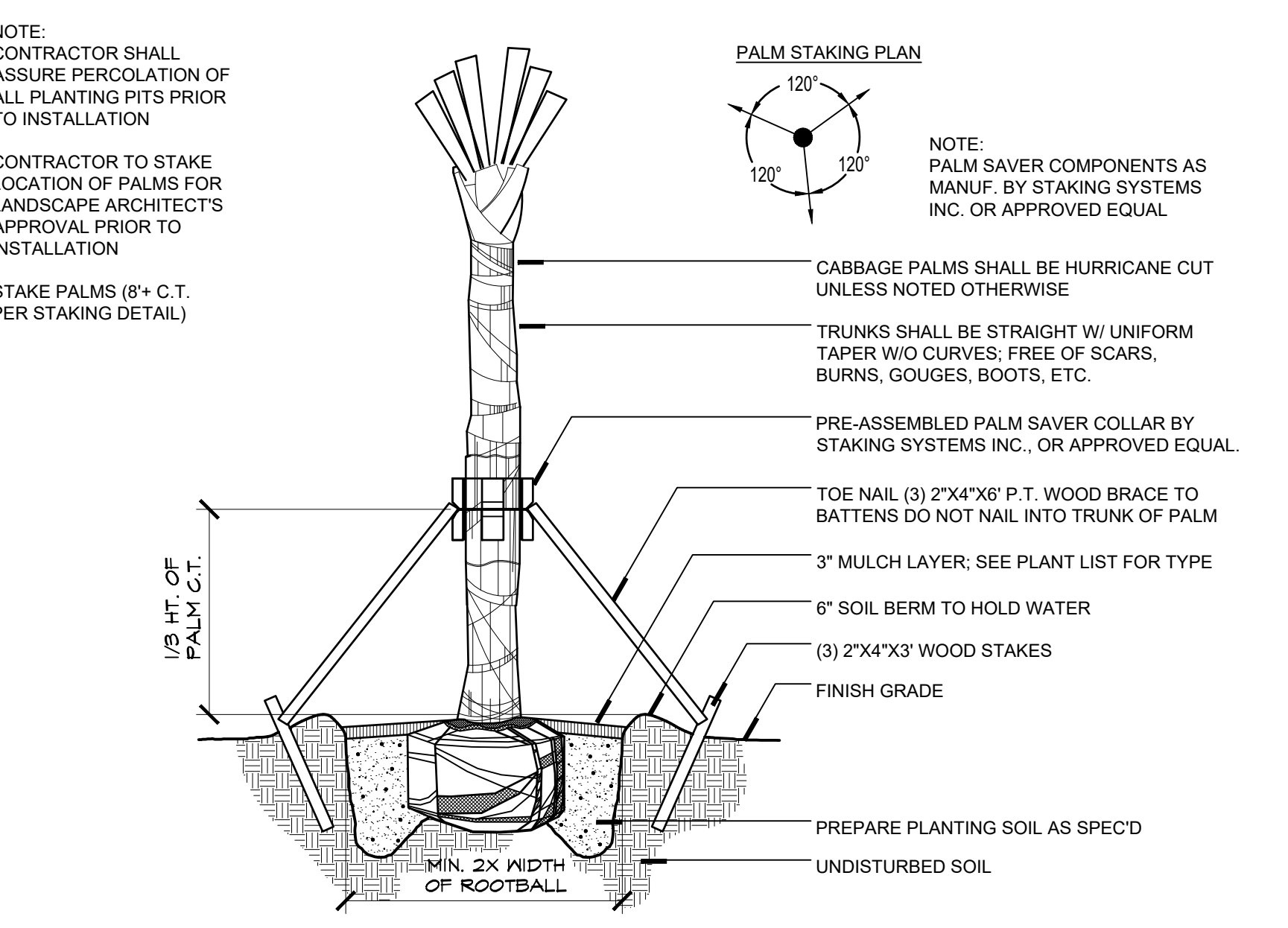
3 FOUNDATION PLANTING
 1/2" = 1'-0" P-LA-03



4 TREE PLANTING (15-45 GAL.)
 1/2" = 1'-0" P-LA-04



5 TREE PLANTING (65-100 GAL.)
 1/2" = 1'-0" P-LA-05



6 PALM PLANTING DETAIL
 1/2" = 1'-0" P-LA-06

WHY A BARRIER?

- TO PROTECT ALL ABOVE GROUND PORTIONS
- TO PROTECT SOIL NEAR TREE FROM COMPACTION
- PROVIDES PHYSICAL AND MENTAL AWARENESS OF TREES' PRESENCE TO EQUIPMENT OPERATORS

WHY IT WORKS

- NO HEAVY EQUIPMENT ALLOWED INSIDE BARRIER, ONLY HAND LABOR
- NO CONSTRUCTION MATERIALS OR TEMPORARY SOIL DEPOSITS ALLOWED INSIDE THIS AREA

BY OBSERVING THESE TWO SIMPLE PRINCIPLES, A TREE'S CHANCE FOR SURVIVAL IS GREATLY ENHANCED.

SPECIFICATIONS FOR WOOD BARRIER

- MINIMUM RADIUS TO BE PROTECTED IS ENTIRE DRIP LINE
- MINIMUM 9' IN HEIGHT
- UPRIGHTS- THE EQUIVALENT OF 2"x4" LUMBER ON 6' MINIMUM CENTERS
- HORIZONTAL- THE EQUIVALENT OF TWO COURSES OF 2" x 4" LUMBER PAINTED SAFETY YELLOW
- BARRIERS TO BE ERRECTED AROUND TREES TO REMAIN BEFORE CONSTRUCTION OR NEARBY TREES ARE REMOVED
- BARRIERS TO REMAIN IN PLACE UNTIL ALL PAVING, CONSTRUCTION AND HEAVY EQUIPMENT IS OUT OF AREA

NOTE:
 BARRIER MUST BE ERRECTED PRIOR TO CONSTRUCTION

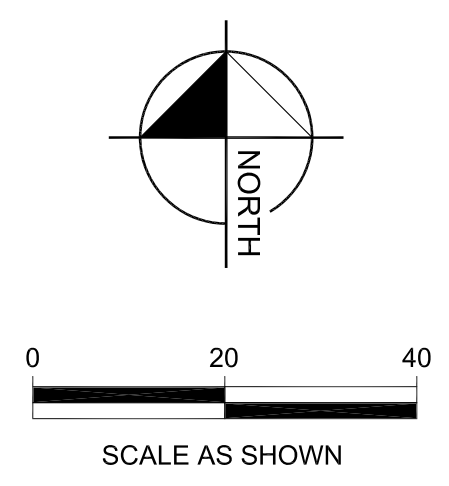
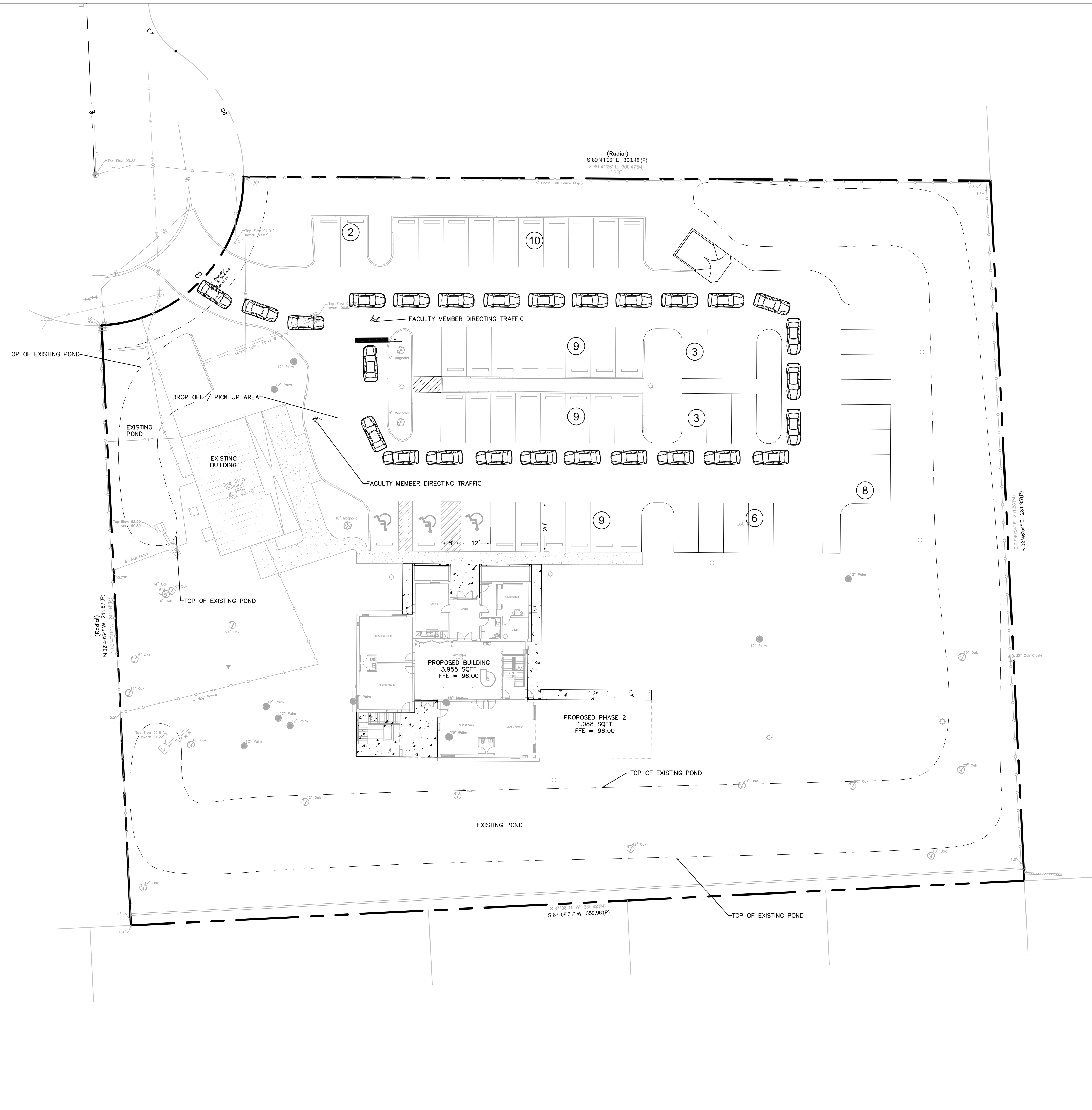
TREE PROTECTION MEASURES

GU0023-1
 ISSUED: 2017
 REVISED: -2019

F
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Drawing name: Z:\Projects\80900 - Create Conservatory\23-100 4900 Lake Park CT\Cadd-Civil\Traffic Exhibit Phase 2.dwg exhibit 2 Jun 26, 2025 10:46am by: Shenika Thomas



PHASE 2 SUMMARY

PHASE 2 OF THE CONSTRUCTION PROJECT WILL INVOLVE THE CREATION OF A BUILDING ADDITION OF 1,088 SQUARE FEET.

DROP OFF TIMES

BEFORE CARE DROP OFF TIMES *
ALL GRADE LEVELS 7:15 AM- 8:00 AM

DROP OFF TIMES PER GRADE LEVEL
K-5 DROP OFF 8:00-8:30 am
6+ DROP OFF 8:15-8:45 am

PICK UP TIMES

AFTER CARE PICK UP TIMES *
ALL GRADE LEVELS UNTIL 6:00 PM

PICK UP TIMES PER GRADE LEVEL
K-5 PICKUP 2:45 pm
6+ PICKUP 3:00 pm

* THIS SIGNIFICANTLY REDUCES TRAFFIC CONGESTION DURING THE TIMES OF STUDENT DROP-OFF AND PICK-UP SINCE NEARLY HALF OF THE STUDENTS MAKE USE OF ONE OR BOTH OF THESE SERVICES.

ONSITE TRAFFIC STACKING

WE ESTIMATE THAT 27 CARS WILL BE STACKED, ON SITE, IN SINGLE ROW CONFIGURATION, WITH THE COORDINATION OF A MINIMUM 2 FACULTY MEMBERS DIRECTING TRAFFIC. THE AVERAGE LENGTH OF CAR USE IS 14.7' WITH A MINIMUM DISTANCE OF 3' BETWEEN CARS.

STUDENTS

13 CLASS ROOMS 13 STUDENTS PER CLASS
13x13 = 169 (1 STUDENT PER CAR)

PHASING SCHEDULE

PHASE 2 IS PROJECTED TO BE STARTED IN MARCH OF 2025 AND WORK TO BE COMPLETED BY OCTOBER OF 2025.

REVISIONS	DATE	BY
6/2024	SAT	
5/2025	SAT	

LINN ENGINEERING & DESIGN, INC.
P.O. BOX 140024
ORLANDO, FL 32814
PHONE: 407-775-5194
clinn@linnengineering.com
CAL. LIC. NO. 31710

DESIGN ENGINEER: CHAD S. LINN, P.E.
FLORIDA REGISTRATION NUMBER: 57524
SEAL

PHASE 2 TRAFFIC EXHIBIT

CREATE CONSERVATORY
4900 LAKE PARK CT
MT DORA FLORIDA 32757
FLORIDA
MT DORA

DATE: 07/23
PROJECT NO.: 80900-23-100
SHEET NUMBER: EX02

November 17, 2025

CPH Consulting LLC
C/O Vince Sandersfeld
Planning Director
City of Mount Dora
510 Baker St.
Mount Dora, FL 32757

Reference: Permit #: Create Conservatory School (Project No.: SP24-09)
Site Plan – Third Review

Dear Review Members:

We are in receipt of your recent comments regarding the above referenced project, and offer the following in response:

Construction Plan Review – Sheet C01

Comment: Repeat comment. No new survey was provided. We referenced the survey from the first submittal, survey dated June 27, 2023. Need verification the 2023 survey is still valid with no site changes.

Response: Contractor to upload revised survey.

Sheet C02

Comment: Repeat comment. Water system Note 9 was revised to state 10 feet minimum horizontal separation. However, Note 1 still states the minimum separation is 6 feet [10 feet preferred]. Note 1 needs to be updated or deleted. The sketch detail above note 1 needs to be revised.

Response: Please see revised sheet C02 for updated notes.

Sheet C04

Comment: Repeat comment. We had requested an updated survey. The response noted a survey was provided. The cover sheet includes the survey as part of the set. No survey was provided.

Response: Contractor to upload revised survey.

Sheet C07

Comment: It is recommended that the 3-inch water main be polytubing and not schedule 80 pipe. The plans have been revised to show a 2-inch PE water service line to the new building. Will this 2-inch line be extended through the Phase 1 portion so that it may provide water to the Phase 2 portion of the project/building? **Repeat Comment: A fire line is now proposed for the development and is shown to be next to the proposed water main. Please ensure that there will be no elevation conflicts when extending the water main to the Phase 2 portion of the development.**

Response: Please see phasing plan sheet C03. Phase 2 will be an addition to the phase 1, therefore the water line being proposed in phase 1 will also serve the building addition in phase 2.

Boundary Survey

Comment: Repeat comment – provide updated boundary survey.

Response: Contractor to upload revised survey.

Comment: Repeat comment – provide updated survey showing easements.

Response: Contractor to upload revised survey.

Construction Plan Review Cont.

Comment: Sheet C03 – the legend calls for “mill and resurface existing asphalt.” However, the hatched area on the plans is for new asphalt in the Phase 2 portion of the work. Update legend accordingly and hatch the existing asphalt that is to be milled.

Response: See revised sheet C03

Comment: Sheet C07 – there is a call out for 1-1/2 inch CPVC fire Line. Is this a sufficient size for a fire line for sprinkling the building? For reference, the PE water line is 2-inch.

Response: See revised Sheet C07. Fire line is shown as 2-inch for coordination purposes. Final fire line design and sizing shall be by others and coordinated with the fire sprinkler contractor. Any required modifications shall be addressed through a field revision.

Comment: Sheet C07 – the tables added to the plan sheet reference Orange County Standard. Replace with City or Lake County Standards. Verify with the City as to the standards required.

Response: Please see revised Sheet C07 for the calculations provided by the City of Mount Dora, which have now been incorporated.

Comment: Sheet C07 – the City Water and Sewer Utilities reviewer had comments to confirm the size of the off-site water main and verify the water main has sufficient flow. Please add a table or notes to the plan sheet based on the notes provided on the response spreadsheet.

Response: Fire flow adequacy has been verified by fire hydrant flow test dated November 27, 2024, witnessed by the City of Mount Dora Building Division, confirming 8,011 GPM available at 20 psi. A note referencing the approved fire flow test has been added to Sheet C07.

Utility Review - Sheet C02:

Comment: Water System Notes # 34, 36, 37, 38, 39, and 40 reference incomplete or unknown telephone numbers for city services.

Response: See revised sheet C02

Comment: Water System Note #28 – “Disinfection” is the correct term not “Sterilization”

Response: See revised sheet C02

Comment: Water System Notes # 10 & 17 – Clarify that the minimum 6” applies to below the water main.

Response: See revised sheet C02.

Comment: As-Built – as-built drawings require GPS locations for the invert elevations and Northing and Easting Data. Final (City Approved) As-Built drawings shall be hard copy, pdf, and AutoCAD.

Response: Noted.

Comment: General Note #6 – Shop drawings required for all materials installed on city owned utilities not just storm structures.

Response: See revised sheet C02.

Sheet C07:

Comment: Potable water and dedicated fire lines need to be independent service connections.

Response: See revised sheet C07, the fire line has been revised to be independent service.

Comment: A 6" water meter is shown serving a 2" and reduced down to another 1.25" water services. Meter does not appear to be the appropriate size.

Response: See revised sheet C07, The meter has been upsized to a 2" meter.

Comment: The drawing shows a 1.5" CPVC fire line connection. This does not appear to be properly sized.

Response: See revised Sheet C07. Fire line is shown as 2-inch for coordination purposes. Final fire line design and sizing shall be by others and coordinated with the fire sprinkler contractor. Any required modifications shall be addressed through a field revision.

Comment: 6" "private" fire hydrants are shown being connected to a 6" fire line. Is this an allowed installation per codes/regulations?

Response: Per telephone conversation with the City of Mount Dora Utilities Department, the proposed configuration is permitted and complies with applicable codes and regulations. Per NFPA 24 (2022 / 2025 edition) Section 7.1.1.1 The connection from the hydrant to the main shall not be less than 6"

Comment: There is a note top left side of the page that indicates "6" Existing Water Verified by City". The contractor shall verify.

Response: See revised sheet C07.

Comment: All piping and connections shall be confirmed by the contractor/developer.

Response: Noted

Comment: There is no irrigation connection shown on the drawing.

Response: See sheet C07, existing irrigation stub out has been added to plans.

Comment: Contractor shall field verify the existing 12" sanitary sewer connection and have the city inspection prior to the addition of a second 6" lateral connection.

Response: Noted

If you have any further questions, please do not hesitate to contact me.

Sincerely,



Chad S. Linn, P.E.
Principal